

# Development Permit <sup>(DP)</sup> Application Requirements

Before applying, [click below](#) to see specific requirements for your project:

## MULTI-UNIT RESIDENTIAL / COMMERCIAL / INDUSTRIAL / MIXED USE / INSTITUTIONAL PROJECTS:

Applying for  
**Multi-Unit  
Residential**

Applying for  
**Commercial/  
Industrial/  
Institutional/  
Mixed Use**

Applying for  
**Outdoor  
Signs**

Applying for  
**Commercial  
(Restaurant)  
Patio**  
(two types)

## COMMON RESIDENTIAL PROJECTS:

Applying for  
**Single  
Detached House  
or Duplex  
(Greenfield)**

Applying for  
**Single  
Detached House  
or Duplex  
(Infill)**

Applying for  
**Detached  
Garage**

Applying for  
**Fence or  
Retaining  
Wall**

Applying for  
**Addition or  
Accessory  
Building**

Applying for  
**Secondary  
or Backyard  
Suite**

Applying for  
**Driveway  
(with LUB  
variance)**

Applying for  
**Driveway**  
(with curb cut  
or other  
alterations to City  
infrastructure)

Applying for  
**Swimming  
Pool**  
(residential,  
permanent)

**Don't see  
your project?**  
Contact us



**DP requirements lists are for  
applicant reference only.**

There is no need to submit  
requirement lists when  
applying.



Medicine Hat

Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

## APPLICATION REQUIREMENTS

# Apartment, Attached Housing (3+ Units), Multiple Unit Residential Developments

### PROJECT DETAILS – APARTMENT, ATTACHED HOUSING (3+ UNITS), MULTIPLE UNIT RESIDENTIAL DEVELOPMENTS

#### TYPE OF PROJECT:

- ☐ Apartment
 ☐ Cluster Housing
 ☐ Multiple Unit Residential Development
- ☐ Other \_\_\_\_\_

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

#### Pre-Application Meeting

**\*It is recommended that the applicant contact Planning & Development Services to confirm information on the following:**

- **Zoning and Defined Land Use**
- **Land Use Bylaw Regulations**
- **Statutory Plan Policy**
- **Off-site Levies**
- **Servicing Requirements**
- **Restrictive Covenants, Utility Rights-of-Way, Easements or City Caveats registered on the Title**
- **Geotechnical Considerations**
- **Environmental Considerations**
- **Subdivision/Consolidation of land**
- **Flood Proofing Requirements** - (if the development is within the flood fringe – Planning & Development Services can provide this information)
- **TCC Reviews** – complex development projects may require review through the Technical Coordinating Committee (TCC), this review may increase review timelines for applications.

**Contact Planning & Development Services prior to submitting an application to set up a pre-application meeting. This is an opportunity to walk through the application and determine other considerations and requirements for developing the site.**

**Applications that have had a pre-application meeting are typically processed faster and have fewer issue that arise during the review process.**

☐ I have contacted Planning & Development Services to discuss my project prior to making this application.

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. BASE INFORMATION</b>	<p>Every Page of the submitted plans and drawings must contain the following information:</p> <ul style="list-style-type: none"> <li>Location – including, municipal address and legal description (Lot, Block, Plan)</li> <li>Drawing Date and Number</li> <li>Drawings Scale</li> <li>Project Name/Description</li> </ul>
<input type="checkbox"/>	<b>2. SITE PLAN</b> <ul style="list-style-type: none"> <li><b>Must be prepared by a draftsman, architect, or person skillful in technical drawing.</b></li> </ul> <p><i>(A 1:200 metric scale is recommended)</i></p>	<p><b>The site plan must include the following:</b></p> <ul style="list-style-type: none"> <li>North arrow</li> <li>Property lines and dimensions, shown and labeled</li> <li>Utility Rights-of-Ways, Easements, shown and labeled</li> <li>Outline of all proposed buildings and/or structures on the site</li> <li>The abutting road ROWs and the adjacent and opposite parcels and driveway entrances to the same.</li> <li>Setbacks from proposed buildings and/or structures dimensioned to all property lines</li> <li>Subdivision (including condo) of the land, if it is intended to be subdivided for the development of the site</li> <li>If applicable, proposed development is to be phased (e.g., portions are to be occupied prior to the completion of the entire development), including a phasing plan showing the sequence of the phases and the area which each phase encompasses, as well as surface treatment of remaining areas</li> </ul> <p><b>Adjacent City streets, including existing and proposed:</b></p> <ul style="list-style-type: none"> <li>Sidewalks, curb &amp; gutters, dimensioned from property lines and including sidewalk width</li> <li>Curb cuts, driveways entrances, dimensioned from property lines</li> <li>Include driveway width(s), driveway throat distance, distance from nearest street intersection corner, driveway skew angle, driveway flares and construction material (i.e., concrete, asphalt, etc.)</li> <li>Medians and/or breaks in medians on public streets adjacent to site</li> <li>Existing pedestrian crosswalks adjacent to the site</li> <li>Corner cuts on corner sites</li> <li>Road dimensions of any on-site circulation roads (indicate one ways). Note that fire lanes are at least 6 m wide with a minimum 12 m centre line radius</li> </ul> <p><b>Layout of parking areas showing:</b></p> <ul style="list-style-type: none"> <li>Dimensioned depth, width, angle and number of parking stalls, Barrier-free parking stalls, access ramps, drop curbs for accessibility, indicated how they will be marked</li> <li>Loading docks/bays, indicated how they will be marked</li> <li>Aisle dimensions</li> <li>Location of any proposed transit stops, wheel stops, speed bumps and sidewalk width</li> <li>Surface treatment for all areas; including parking, sidewalks, and landscaping</li> <li>Location and size of all exterior doors</li> <li>Bus zones and bus shelters adjacent to site</li> <li>Location and height of all existing and proposed fencing and retaining walls</li> <li>Location of garbage collection facilities and loading areas.</li> </ul>

<div data-bbox="105 205 149 243" data-label="Image"></div>	<p><b>3. UTILITY PLAN, SITE STORMWATER MANAGEMENT PLAN, AND SITE GRADING PLAN</b></p> <p><i>(A 1:200 metric scale is recommended)</i></p>	<p><b><u>Utility Plan</u></b></p> <ul style="list-style-type: none"> <li>Indicate location of all proposed and/or existing shallow and deep utilities (e.g., water, sanitary sewer, storm sewer, secondary gas, secondary electrical, cable, telephone, either underground or overhead). Note: UDS designs the primary electric and gas service connections are at the cost of the developer. The applicant must contact Environmental Utilities (403.529.8176) to apply for servicing quotes</li> <li>Confirmation that the proposed water and sewer line is adequately sized for the development. (Water line can be confirmed through a fixture count as per the National Plumbing Code of Canada)</li> <li>Proposed electric and gas line load and preferred meter location. The alignment of the gas and electric services will be designed by the utilities. The applicant must apply for servicing through the City of Medicine Hat website portal for electric and gas to have the service alignments designed and costed</li> <li>Location of all lighting and light standards, catch basins, utility poles, hydrants, and utility fixtures, on or adjacent to site</li> </ul> <p><b><u>Stormwater Management Plan</u></b></p> <ul style="list-style-type: none"> <li>Plans must clearly show the location and details of sanitary sampling manholes and stormwater pretreatment devices as required</li> <li>Site drainage calculations including: <ul style="list-style-type: none"> <li>Allowable release rate,</li> <li>Drainage areas and associated runoff coefficients,</li> <li>Storage requirements, (The City requests the use of the modified rational method as outline in the MSSM.)</li> <li>Runoff control structure release calculations,</li> </ul> </li> <li>Site stormwater storage areas including: <ul style="list-style-type: none"> <li>Extent, depth, and volume of ponding area,</li> <li>Elevation of top of ponding for the 1:100 year critical event.</li> </ul> </li> <li>Areas greater than 0.16ha require on-site detention that accommodates 1:100 year critical events. Refer to Section 5.4.5 of Storm Drainage in the MSSM</li> </ul> <p><b><u>Grading Plan</u></b></p> <ul style="list-style-type: none"> <li>Existing and proposed geodetic grades, contours and any special topographical features or site conditions (i.e., escarpments, break-of-slope, and any unstable areas) along all property lines and along building</li> <li>Geodetic grades of the parking area including any driveway grades and parkade access ramps</li> <li>Geodetic grades of any existing or proposed retaining wall/curb and fence</li> <li>Geodetic grades of any existing or proposed swales</li> </ul>
<div data-bbox="105 1638 149 1675" data-label="Image"></div>	<p><b>4. LANDSCAPING PLAN</b></p> <p><i>(A 1:200 metric scale is recommended)</i></p>	<ul style="list-style-type: none"> <li>Trees, shrubs, and significant vegetation; indicated what is to be added, removed, and retained. Please include the following information: <ul style="list-style-type: none"> <li>Number, location, size, type, and species of all trees and or/shrubs</li> <li>All species must be Chinook tolerant and drought resistant</li> <li><i>Note: This type of landscaping is not Permitted within UROWs</i></li> </ul> </li> <li>Surface treatment of all soft landscaped areas (e.g., mixed grass, shrubs, mulch) and hard landscaped areas (e.g., decorative pavers, bricks, stamped concrete) including City boulevards</li> </ul>

		<ul style="list-style-type: none"> <li>Method of irrigation for all soft landscaped areas</li> <li>Total landscaped area (square metres)</li> <li>Curb details to separate landscaping</li> </ul>
<input type="checkbox"/>	<b>5. ELEVATION DRAWINGS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The elevation drawings must include:</p> <ul style="list-style-type: none"> <li>The exterior of the proposed building, including windows, doors, decks, projections, fascia trim, decorative elements, rooftop mechanical screening, service meter location and screening and lighting etc.</li> <li>All finishing materials indicating: <ul style="list-style-type: none"> <li>Exterior material (e.g., Brick, concrete masonry, stucco)</li> <li>Roof material (e.g., asphalt shingle, concrete tile, metal)</li> <li>Fascia, soffit, and trim</li> </ul> </li> <li>Colors of all major exterior building materials (A digital material board with samples of all exterior finishing materials and colours must be provided)</li> <li>Existing and Proposed lot grades, building grades, and grade line plotted on each of the building elevations, extending to the property line. Include slope and grade information for the impact of the building on site, adjacent properties, and adjacent city streets and UROWs (ensure consistency with the Site Plan)</li> <li>Dimensioned height from grade to highest point of roof, measured at the point of the elevation where the difference between roof and top of grade is greatest</li> <li>Elevations of any fence, retaining wall and garbage enclosure</li> <li>If any roof-top equipment is to be added, information on how the roof-top equipment will be screened (include elevation details for screening and a roof plan)</li> <li>Profile of sloping driveways or ramps; show the grades from the building to the curb or back of sidewalk</li> <li>Details on any overhead clearance requirements where applicable (e.g., overhead power lines, awnings, garbage collection vehicle with overhead mechanism)</li> <li>Provide elevation drawings of garbage collection facilities, indicating materials, colours, and dimensions. The applicant should also indicate if service is to be provided by private or City collection. City collection does not allow for gated enclosures</li> </ul>
<input type="checkbox"/>	<b>6. FLOOR PLANS</b> <i>(A 1:200 metric scale is recommended)</i>	<p><b>The floor plans must include:</b></p> <ul style="list-style-type: none"> <li>Layout of all exterior and interior walls, include the floor plan of the proposed building (identify bedroom, kitchen, bathroom, mechanical rooms, stairways, elevators, corridors, lobbies, internal garbage storage areas etc.)</li> <li>Gross Floor Area of each floor, and gross floor area of each of the individual units (in metric) and label by type (i.e. one bedroom, two bedroom)</li> <li>Location of exterior and internal doors and windows</li> <li>Dimensions of buildings (length &amp; width); include cantilevers and other projections</li> <li>Loading and internal garbage storage areas</li> </ul>

<input type="checkbox"/>	<b>7. OTHER SUPPORT INFORMATION THAT MAY BE REQUIRED DEPENDING ON SITE CONDITIONS</b>	<ul style="list-style-type: none"> <li>▪ Signage (building and/or site) will require a separate Development Permit application</li> <li>▪ Environmental Site Assessment</li> <li>▪ Declaration For Private Solid Waste Collection Services (If Applicable)</li> <li>▪ Traffic Impact Study</li> <li>▪ If the site is located with the Land Use Bylaw's floodplain areas (e.g., river valley) floodway and floodplain lines, backwater areas must be plotted precisely on the site plan</li> <li>▪ Future road widening requirements: resulting in functional studies, future expressways where applicable</li> </ul>
	<b>OFF-SITE LEVIES FEES (IF APPLICABLE)</b> <ul style="list-style-type: none"> <li>▪ Using the Off-Site Levy Bylaw, off-site levies are determined during the Planning &amp; Development Services review of the proposed development.</li> </ul>	<ul style="list-style-type: none"> <li>▪ If the City of Medicine Hat determines that off-site levies are owing, they will be required to be paid prior to commencement of construction and this will be a condition of the Development Permit.</li> </ul>
	<b>DEVELOPMENT PERMIT APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ Attached Housing is <b>\$210.00/per dwelling</b> (Includes GST).</li> <li>▪ Multiple Unit Residential Development or Apartments base fee is <b>\$525.00. Plus per dwelling fee is \$78.75</b> (Includes GST).</li> <li>▪ Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is <b>\$315.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>▪ Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## APPLICATION REQUIREMENTS

# Commercial, Industrial, Mixed Use, Institutional Developments



Medicine Hat

Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

### PROJECT DETAILS – COMMERCIAL, INDUSTRIAL, MIXED USE AND INSTITUTIONAL DEVELOPMENTS

#### TYPE OF PROJECT:

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> New Commercial Building    | <input type="checkbox"/> Commercial Building Addition    | <input type="checkbox"/> Commercial (Accessory Building)    |
| <input type="checkbox"/> New Industrial Building    | <input type="checkbox"/> Industrial Building Addition    | <input type="checkbox"/> Industrial (Accessory Building)    |
| <input type="checkbox"/> New Mixed-Use Building     | <input type="checkbox"/> Mixed Use Building Addition     | <input type="checkbox"/> Mixed Use (Accessory Building)     |
| <input type="checkbox"/> New Institutional Building | <input type="checkbox"/> Institutional Building Addition | <input type="checkbox"/> Institutional (Accessory Building) |
| <input type="checkbox"/> Other _____                |  |   |

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

#### Pre-Application Meeting

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- **Zoning and Defined Land Use**
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- **Geotechnical Considerations**
- **Environmental Considerations**
- **Subdivision/Consolidation of land**
- **Flood Proofing Requirements** - *(if the development is within the flood fringe – Planning & Development Services can provide this information)*
- **TCC Reviews** – *complex development projects may require review through the Technical Coordinating Committee (TCC), this review may increase review timelines for applications.*

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☐ I have contacted Planning & Development Services to discuss my project prior to making this application.



	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. BASE INFORMATION</b>	<p>Every Page of the submitted plans and drawings must contain the following information:</p> <ul style="list-style-type: none"> <li>▪ Location – including, municipal address and legal description (Lot, Block, Plan)</li> <li>▪ Drawing Date and Number</li> <li>▪ Drawings Scale</li> <li>▪ Project Name/Description</li> </ul>
<input type="checkbox"/>	<b>2. SITE PLAN</b> <ul style="list-style-type: none"> <li>▪ <b>Must be prepared by a drafts person, architect, or person skillful in technical drawing.</b></li> </ul> <p><i>(A 1:200 metric scale is recommended)</i></p>	<p><b>The site plan must include the following:</b></p> <ul style="list-style-type: none"> <li>▪ North arrow</li> <li>▪ Property lines and dimensions, shown and labeled</li> <li>▪ Utility Rights-of-Ways, Easements, shown and labeled</li> <li>▪ Outline of all proposed buildings and/or structures on the site</li> <li>▪ The abutting road ROWs and the adjacent and opposite parcels and driveway entrances to the same.</li> <li>▪ Setbacks from proposed buildings and/or structures dimensioned to all property lines</li> <li>▪ Subdivision (including condo) of the land, if it is intended to be subdivided for the development of the site</li> <li>▪ If the proposed development is to be phased (e.g., portions are to be occupied prior to the completion of the entire development), including a phasing plan showing the sequence of the phases and the area which each phase encompasses, as well as surface treatment of remaining areas</li> </ul> <p><b>Adjacent City streets, including existing and proposed:</b></p> <ul style="list-style-type: none"> <li>▪ Sidewalks, curb &amp; gutters, dimensioned from property lines and including sidewalk width</li> <li>▪ Curb cuts, driveways entrances, dimensioned from property lines</li> <li>▪ Include driveway width(s), driveway throat distance, distance from nearest street intersection corner, driveway skew angle, driveway flares and construction material (i.e., concrete, asphalt, etc.)</li> <li>▪ Medians and/or breaks in medians on public streets adjacent to site</li> <li>▪ Existing pedestrian crosswalks adjacent to the site</li> <li>▪ Corner cuts on corner sites</li> <li>▪ Road dimensions of any on-site circulation roads (indicate one ways). Note that fire lanes are at least 6 m wide with a minimum 12 m centre line radius</li> </ul> <p><b>Layout of parking areas showing:</b></p> <ul style="list-style-type: none"> <li>▪ Dimensioned depth, width, angle and number of parking stalls, Barrier-free parking stalls, access ramps, drop curbs for accessibility, indicated how they will be marked</li> <li>▪ Loading docks/bays, and how these will be marked</li> <li>▪ Aisle dimensions</li> <li>▪ Location of any proposed transit stops, wheel stops, speed bumps and sidewalk width</li> <li>▪ Surface treatment for all areas; including parking, sidewalks, and landscaping</li> <li>▪ Location and size of all exterior doors</li> <li>▪ Transit zones and shelters adjacent to site</li> <li>▪ Location and height of all existing and proposed fencing and retaining walls</li> <li>▪ Location of garbage collection facilities and loading areas.</li> </ul>



		<p><b>For industrial developments only:</b></p> <ul style="list-style-type: none"> <li>Location of storage areas and method of screening</li> </ul> <p><b>For commercial developments only:</b></p> <ul style="list-style-type: none"> <li>Location of bicycle racks and the number of bikes accommodated</li> <li>If applicable, location of drive-through facilities, stacking spaces for vehicles (entrance, exit, customer courtesy, menu board signs)</li> </ul>
<input type="checkbox"/>	<p><b>3. UTILITY PLAN, SITE STORMWATER MANAGEMENT PLAN, AND SITE GRADING PLAN</b></p> <p><i>(A 1:200 metric scale is recommended)</i></p>	<p><b><u>Utility Plan</u></b></p> <ul style="list-style-type: none"> <li>Indicate location of all proposed and/or existing shallow and deep utilities (e.g., water, sanitary sewer, storm sewer, secondary gas, secondary electrical, cable, telephone, either underground or overhead). Note: UDS designs the primary electric and gas service connections are at the cost of the developer. The applicant must contact Environmental Utilities (403.529.8176) to apply for servicing quotes</li> <li>Confirmation that the proposed water and sewer lines are adequately sized for the development. (Water line can be confirmed through a fixture count as per the National Plumbing Code of Canada)</li> <li>Proposed electric and gas line load and preferred meter location. Alignment of the gas and electric services will be designed by the utilities. Applicant must apply for servicing through the City of Medicine Hat website portal for electric and gas to have the service alignments designed and costed</li> <li>Location of all lighting and light standards, catch basins, utility poles, hydrants, and utility fixtures, on or adjacent to site</li> </ul> <p><b><u>Stormwater Management Plan</u></b></p> <ul style="list-style-type: none"> <li>Location and details of sanitary sampling manholes and stormwater pretreatment devices as required</li> <li>Site drainage calculations including: <ul style="list-style-type: none"> <li>Allowable release rate,</li> <li>Drainage areas and associated runoff coefficients,</li> <li>Storage requirements, (The City requests the use of the modified rational method as outline in the MSSM.)</li> <li>Runoff control structure release calculations,</li> </ul> </li> <li>Site stormwater storage areas including: <ul style="list-style-type: none"> <li>Extent, depth, and volume of ponding area,</li> <li>Elevation of top of ponding for the 1:100 year critical event.</li> </ul> </li> <li>Areas greater than 0.16ha require on-site detention that accommodates 1:100 year critical events. See Section 5.4.5 of Storm Drainage in MSSM</li> </ul> <p><b><u>Grading Plan</u></b></p> <ul style="list-style-type: none"> <li>Existing and proposed geodetic grades, contours and any special topographical features or site conditions (i.e., escarpments, break-of-slope, unstable areas) along all property lines and along buildings</li> <li>Geodetic grades of: <ul style="list-style-type: none"> <li>Parking area incl. driveway and parkade access ramps</li> <li>Existing and proposed retaining walls/curbs and fences</li> <li>Existing and proposed swales</li> </ul> </li> </ul>
<input type="checkbox"/>	<p><b>4. LANDSCAPING PLAN</b></p> <p><i>(A 1:200 metric scale is recommended)</i></p>	<ul style="list-style-type: none"> <li>Trees, shrubs, and significant vegetation; indicate what is to be added, removed, and retained. Please include the following information: <ul style="list-style-type: none"> <li>Number, location, size, type, and species of all trees and or/shrubs</li> <li>All species must be Chinook tolerant and drought resistant</li> <li><b>Note: This type of landscaping is <u>not</u> permitted within UROWs</b></li> </ul> </li> </ul>

		<ul style="list-style-type: none"> <li>▪ Surface treatment of all soft landscaped areas (e.g., mixed grass, shrubs, mulch) and hard landscaped areas (e.g., decorative pavers, bricks, stamped concrete) including City boulevards</li> <li>▪ Method of irrigation for all soft landscaped areas</li> <li>▪ Total landscaped area (square metres)</li> <li>▪ Curb details to separate landscaping</li> </ul>
<input type="checkbox"/>	<b>5. ELEVATION DRAWINGS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The elevation drawings must include:</p> <ul style="list-style-type: none"> <li>▪ The exterior of the proposed building, including windows, doors, decks, loading bays, projections, fascia trim, decorative elements, rooftop mechanical screening, service, meter location, screening, lighting etc.</li> <li>▪ Finishing materials indicating: <ul style="list-style-type: none"> <li>▪ Exterior material (e.g., brick, concrete masonry, stucco)</li> <li>▪ Roof material (e.g., asphalt shingle, concrete tile, metal)</li> <li>▪ Fascia, soffit, and trim</li> <li>▪ Colors of all major exterior building materials</li> </ul> </li> <li>▪ Existing and Proposed lot grades, building grades, and grade line plotted on each of the building elevations, extending to the property line. Include slope and grade information for the impact of the building on site, adjacent properties, and adjacent city streets and UROWs (ensure consistency with the Site Plan)</li> <li>▪ Dimensioned height from grade to highest point of roof, measured at the point of the elevation where the difference between roof and top of grade is greatest</li> <li>▪ Elevations of any fence, retaining wall and garbage enclosure</li> <li>▪ Method of screening rooftop equipment (if applicable). Include elevation details and a roof plan</li> <li>▪ Profile of sloping driveways or ramps; show the grades from the building to the curb or back of sidewalk</li> <li>▪ Details of overhead clearance requirements if applicable (e.g. overhead electric, awnings, garbage collection vehicle clearance)</li> <li>▪ Elevation drawings of garbage collection facilities, indicating materials, colours, and dimensions. Indicate if service provided by private or City collection. Note: City collection does not allow for gated enclosures</li> </ul>
<input type="checkbox"/>	<b>6. FLOOR PLANS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The floor plans must include:</p> <ul style="list-style-type: none"> <li>▪ Gross Floor Area of total proposed development</li> <li>▪ Gross Floor Area of each floor, bay or dwelling unit</li> <li>▪ Layout of all exterior and interior walls. Identify rooms (e.g., retail space, office space, industrial rooms, mechanical rooms, stairways, lobbies, washrooms, elevators, eating areas, internal parking areas etc.)</li> <li>▪ Location of exterior and internal doors and windows</li> <li>▪ Dimensions of buildings (length &amp; width); include cantilevers and other projections</li> <li>▪ Detailed layout of floor plan of eating and/or drinking spaces (if applicable). Include seating plan and methods of public access/egress</li> </ul>
<input type="checkbox"/>	<b>7. OTHER SUPPORT INFORMATION THAT MAY BE REQUIRED DEPENDING ON SITE CONDITIONS</b>	<ul style="list-style-type: none"> <li>▪ Environmental Site Assessment</li> <li>▪ Traffic Impact Study</li> <li>▪ Declaration for private solid waste collection services (If applicable)</li> <li>▪ Floodway/floodplain and backwater areas plotted precisely (if site is located in flood prone areas such as river valley, indicated in the City's Land Use Bylaw)</li> <li>▪ Signage for site and/or building requires a separate Development Permit application.</li> </ul>

	<b>OFF-SITE LEVIES FEES (IF APPLICABLE)</b> <ul style="list-style-type: none"> <li>Using the Off-Site Levy Bylaw, off-site levies are determined during the Planning &amp; Development Services review of the proposed development.</li> </ul>	<ul style="list-style-type: none"> <li>If the City of Medicine Hat determines that off-site levies are owing, they will be required to be paid prior to commencement of construction and this will be a condition of the Development Permit.</li> </ul>
	<b>DEVELOPMENT PERMIT APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li><b>New construction Base Fee is \$525.00 (Includes GST);</b> Plus, per 1m<sup>2</sup> of Gross Floor Area of Building fee charges is \$1.10 (Includes GST)</li> <li><b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$525.00(Includes GST).</b></li> </ul>	<ul style="list-style-type: none"> <li>The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## APPLICATION REQUIREMENTS

## Signs



Medicine Hat

Planning & Development Services  
 City of Medicine Hat  
 580 1<sup>st</sup> Street SE  
 Medicine Hat, AB T1A 8E6  
 Phone (403) 529-8374  
 pbe@medicinehat.ca

## PROJECT DETAILS – SIGNS

## TYPE OF SIGN:

- |   |   |                                      |
|---|---|--------------------------------------|
| <input type="checkbox"/> Canopy Sign        | <input type="checkbox"/> Portable Sign    | <input type="checkbox"/> Window Sign |
| <input type="checkbox"/> Electronic Display | <input type="checkbox"/> Projecting Sign  | <input type="checkbox"/> Other_____  |
| <input type="checkbox"/> Fascia Sign        | <input type="checkbox"/> Sandwich Board   |                                      |
| <input type="checkbox"/> Freestanding Sign  | <input type="checkbox"/> Specialized Sign |                                      |

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SIGN DRAWINGS or PHOTOGRAPH</b>	<p>A photograph or drawing that is marked up to indicate the following information:</p> <ul style="list-style-type: none"> <li>▪ <b>All dimensions of the sign</b>, including height from grade, height and length of sign, total area of sign (m<sup>2</sup>), projections from the building (if applicable), and width of the building where the sign will be located (if applicable)</li> <li>▪ A graphic indicating text, colours, size, and any designs on proposed sign</li> <li>▪ Manner of sign illumination (if applicable)</li> <li>▪ The type of construction and finish to be utilized (e.g. the method of attachment or support for the sign)</li> </ul> <p>If the sign is an Electronic Display (i.e. LED sign that utilizes electronic screens, televisions, computer video monitors, liquid crystal displays, light-emitting diode displays, or any other similar technology) detailed specifications of the Electronic Display are required in accordance with regulations within the Land Use Bylaw.</p>
<input type="checkbox"/>	<b>2. SITE PLAN</b> <ul style="list-style-type: none"> <li>▪ <b>Only required for Portable and Freestanding signs</b></li> </ul> <p><i>(A 1:200 metric scale is recommended)</i></p>	<p>The site plan must include the following:</p> <ul style="list-style-type: none"> <li>▪ Location – including municipal address and legal description (Lot, Block, Plan) and North arrow.</li> </ul>

		<ul style="list-style-type: none"> <li>All existing structures, property lines, and proposed location of the sign, with dimensions, including setbacks from all property lines. <b>Please note that signage on City of Medicine Hat property, including boulevard areas, is prohibited</b></li> <li>Identify location of all existing and proposed service lines – electric (including overhead), gas, water, sanitary sewer as well as easements, utility rights-of-way, and swales on property.</li> <li><b>If the proposed Freestanding sign is in close proximity to an overhead electrical line, please contact the City of Medicine Hat Electric Utility (403-529-8262) for allowable separations for buildings, structures, construction, or activities to electrical infrastructure.</b></li> <li>If the proposed Freestanding sign is in proximity to a Provincial Highway, Alberta Transportation approval may be required. Please contact Planning &amp; Development Services (403-529-8374).</li> </ul>
	<p><b>APPLICATION FEE (2024)</b></p> <ul style="list-style-type: none"> <li><b>Freestanding sign - \$367.50</b> (Includes GST)</li> <li><b>LED sign - \$1,050.00</b> (Includes GST)</li> <li><b>All other signs – 136.50/per sign</b> (Includes GST)</li> </ul> <p><b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$525.00</b> (Includes GST).</p>	<ul style="list-style-type: none"> <li>The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## APPLICATION REQUIREMENTS

# Outdoor Patio

## (Public Roads Bylaw Approval)



Medicine Hat

Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

### PROJECT DETAILS – COMMERCIAL OUTDOOR PATIO APPROVAL

All applications must comply with the City of Medicine Hat's **Public Roads Bylaw No.4346**.

**\*Please note, approvals from the Alberta Gaming, Liquor and Cannabis, and Alberta Health Services may also be required.**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> <i>(A 1:200 metric scale is recommended)</i> <i>See example on Pg.6</i>	<p>The site plan must include the following:</p> <ul style="list-style-type: none"> <li>• North arrow</li> <li>• Location – including municipal address and legal description (Lot, Block, Plan)</li> <li>• All property lines</li> <li>• Front, rear, and side setbacks of the patio from all property lines and all buildings on the site</li> <li>• Dimensions of the proposed patio, showing all exits</li> <li>• All existing structures, with dimensions</li> <li>• Identify adjacent city streets, sidewalks, curbs and proposed and existing curb cuts</li> <li>• Location and number of tables / chairs</li> <li>• Location of parking areas including length and width of stalls, driveway, etc.</li> <li>• Location of outdoor storage areas and method of screening (if applicable)</li> <li>• Location of drive thru and turning radii for drive thru (if applicable)</li> <li>• Turning radii for large vehicles (if applicable)</li> <li>• Location of garbage enclosures</li> <li>• Location of Road Right of Way and public sidewalk</li> <li>• Identify location of all existing and proposed service lines – electric (including overhead), gas, water, sanitary sewer as well as easements, utility rights-of-way, and swales on property</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The elevation drawings must include:</p> <ul style="list-style-type: none"> <li>▪ Exterior of proposed outdoor patio</li> <li>▪ Description of exterior finishing materials of patio, and railings.</li> <li>▪ Dimensioned height from grade on each elevation.</li> </ul>

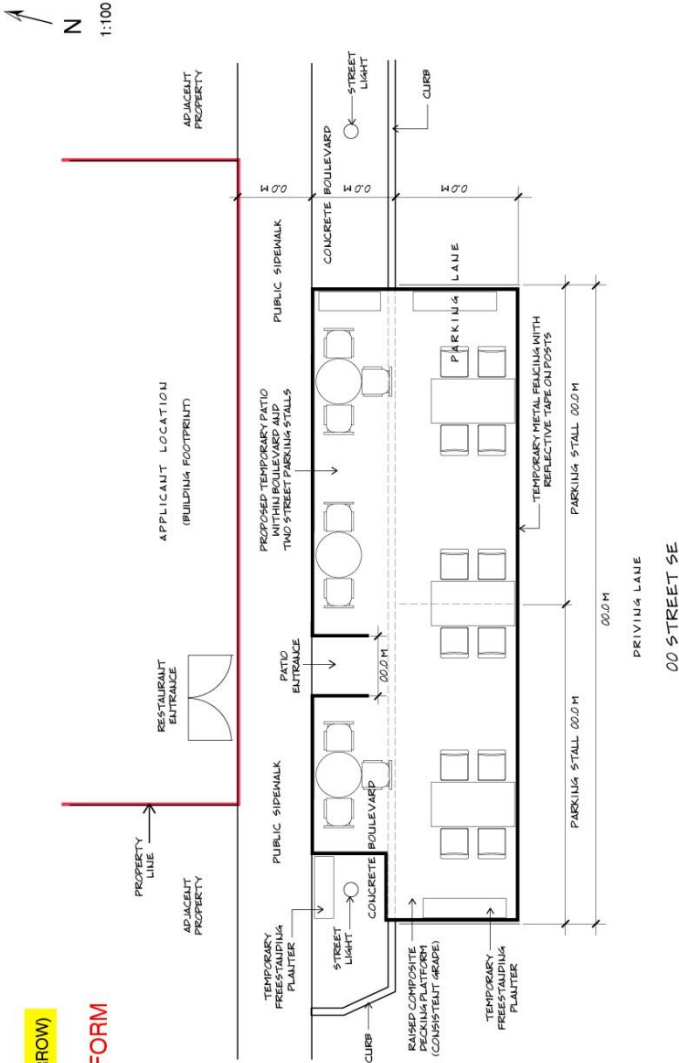
<input type="checkbox"/>	<b>3. TEMPORARY TRAFFIC CONTROL (TTC) REQUEST FORM</b>	<p>The Temporary Traffic Control (TTC) Request Form and Manual can be found online:</p> <p><a href="https://www.medicinehat.ca/en/roads-parking-and-transportation/road-construction.aspx">https://www.medicinehat.ca/en/roads-parking-and-transportation/road-construction.aspx</a></p> <p>The form can also be found on page 6 and 7 of this application.</p> <p>The completed request form must be submitted to Planning and Development Services as part of this application.</p>
<input type="checkbox"/>	<b>4. CERTIFICATE OF LIABILITY INSURANCE</b>	<p>The City of Medicine Hat must be named as a joint insured, not less than \$2,000,000 liability.</p> <p>Documentation must be provided to Planning and Development Services as part of this application.</p>
<input type="checkbox"/>	<b>5. ALBERTA GAMING, LIQUOR AND CANNABIS &amp; ALBERTA HEALTH SERVICES APPROVALS</b>	<ul style="list-style-type: none"> <li>Confirm that your proposed service meets relevant Alberta Health liquor and food regulations.</li> <li>Confirm with Alberta Gaming, Liquor and Cannabis that your proposed alcohol service meets regulations.</li> </ul>
<input type="checkbox"/>	<b>6. DETAILED DESCRIPTION OF THE PROPOSAL</b> <ul style="list-style-type: none"> <li>Please indicate the intended months of operation and the hours of operation.</li> </ul> <hr/> <hr/> <hr/>	
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li><b>Sidewalk Patio (on City Property) - \$630.00</b> (Includes GST)</li> <li><b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$525.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>The City of Medicine Hat will email a fee slip or mail an invoice to the applicant once the application and other required documentation is deemed complete.</li> <li>Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>



Site Plan Example – Outdoor Patio

EXAMPLE SITE PLAN for  
DEVELOPMENT PERMIT APPLICATION  
**TEMPORARY/SEASONAL  
COMMERCIAL PATIO**  
ENTIRELY ON PUBLIC PROPERTY (RROW)

REFER TO APPLICATION FORM  
FOR ALL DRAWING  
REQUIREMENTS



SITE PLAN:  
TEMPORARY/SEASONAL PATIO  
WITHIN ROAD RIGHT-OF-WAY

DATE: 2023-02-10

RESTAURANT NAME  
\*00-000 00 STREET NE  
LOT 00, BLOCK 0, PLAN 0000

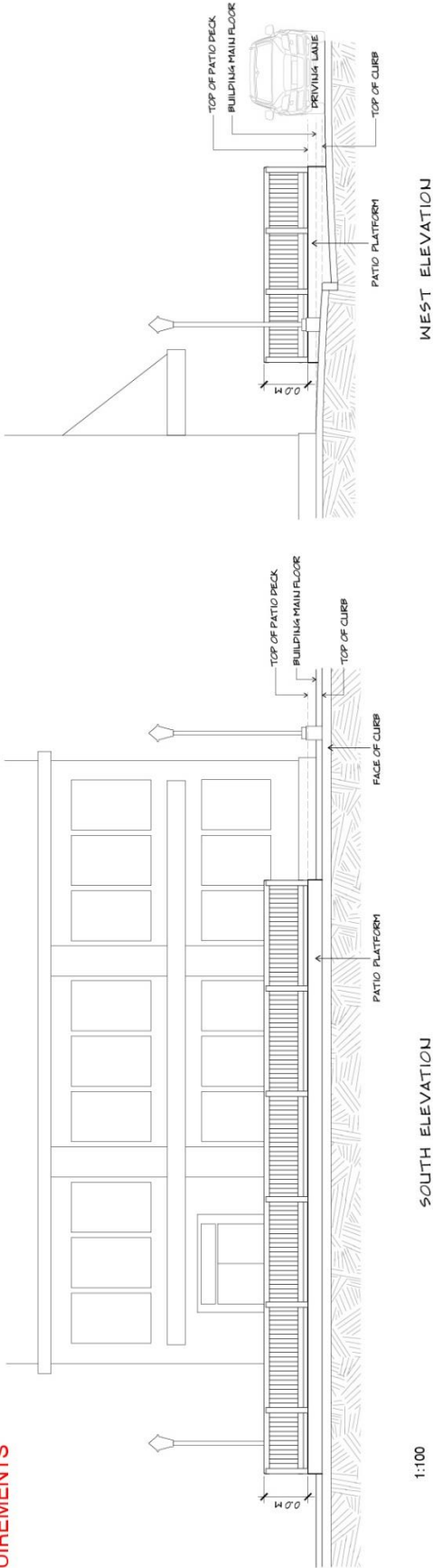
PATIO SPACE AREA: 00.0 M²  
00 TABLES  
00 CHAIRS

SEASONAL OCCUPANCY: MAY-OCT  
HOURS OF OPERATION: 11:00AM-11:00PM  
ALCOHOL SERVED

Elevation Plan Example - Outdoor Patio

EXAMPLE ELEVATION PLAN for  
DEVELOPMENT PERMIT APPLICATION  
**TEMPORARY/SEASONAL  
COMMERCIAL PATIO**

REFER TO APPLICATION FORM  
FOR ALL DRAWING  
REQUIREMENTS



## APPLICATION REQUIREMENTS

# Outdoor Patio (Private Property)



**Medicine Hat**

Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

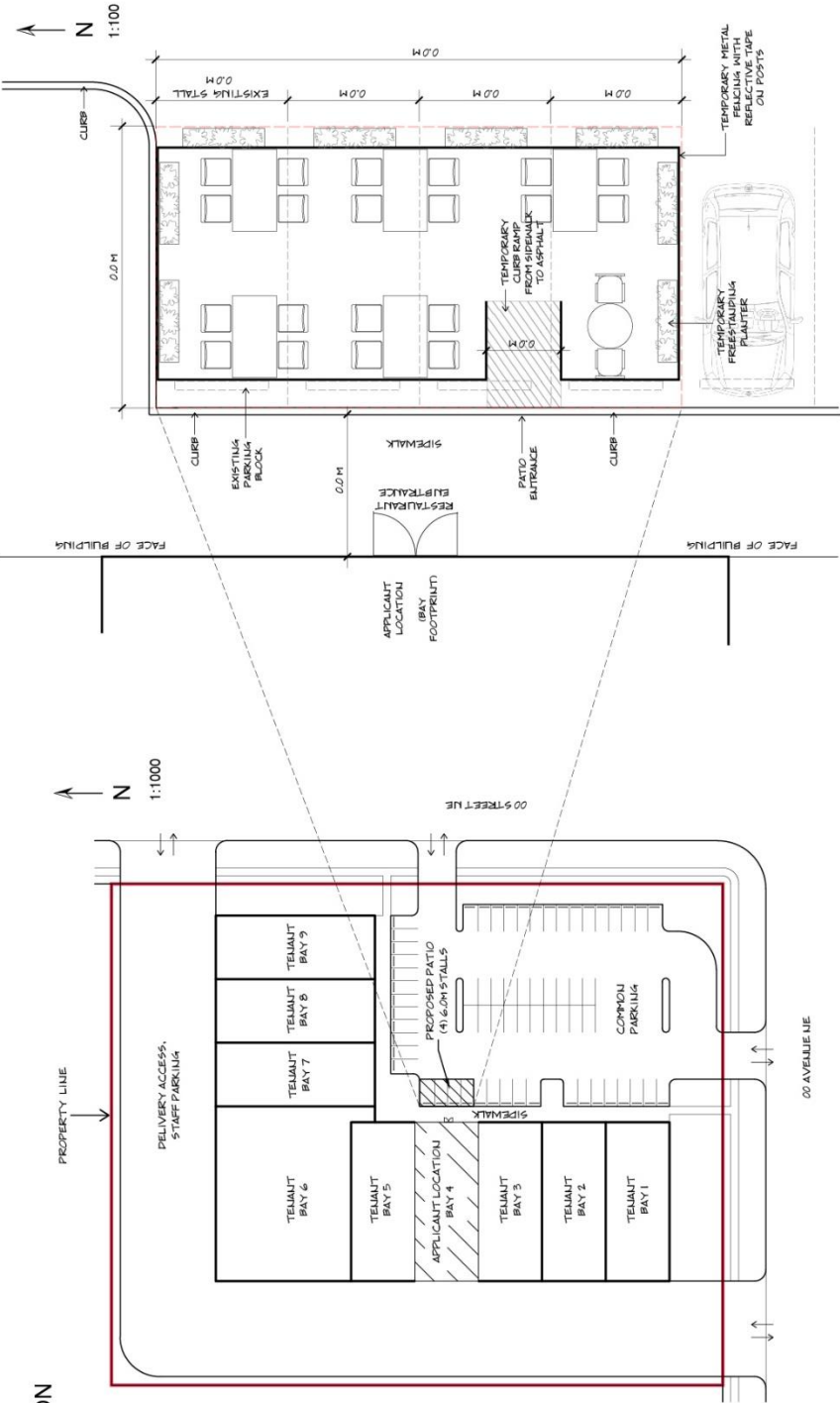
### PROJECT DETAILS – COMMERCIAL OUTDOOR PATIO (PRIVATE PROPERTY)

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**.

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> <i>(A 1:200 metric scale is recommended)</i> <i>See example on Pg.6</i>	<p>The site plan must include the following:</p> <ul style="list-style-type: none"> <li>• North arrow</li> <li>• Location – including municipal address and legal description (Lot, Block, Plan)</li> <li>• All property lines</li> <li>• Front, rear, and side setbacks of the patio from all property lines and all buildings on the site</li> <li>• Dimensions of the proposed patio, showing all exits</li> <li>• All existing structures, with dimensions</li> <li>• Identify adjacent city streets, sidewalks, curbs and proposed and existing curb cuts</li> <li>• Location and number of tables / chairs</li> <li>• Location of parking areas including length and width of stalls, driveway, etc.</li> <li>• Location of outdoor storage areas and method of screening (if applicable)</li> <li>• Location of drive thru and turning radii for drive thru (if applicable)</li> <li>• Turning radii for large vehicles (if applicable)</li> <li>• Location of garbage enclosures</li> <li>• Location of Road Right of Way and public sidewalk</li> <li>• Identify location of all existing and proposed service lines – electric (including overhead), gas, water, sanitary sewer as well as easements, utility rights-of-way, and swales on property</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The elevation drawings must include:</p> <ul style="list-style-type: none"> <li>▪ Exterior of proposed outdoor patio</li> <li>▪ Description of exterior finishing materials of patio, and railings.</li> <li>▪ Dimensioned height from grade on each elevation.</li> </ul>

<input type="checkbox"/>	<b>3. DETAILED DESCRIPTION OF THE PROPOSAL</b> <ul style="list-style-type: none"> <li>Please indicate below if the patio is permanent or seasonal, and list the hours of operation</li> </ul> <hr/> <hr/> <hr/>	
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li><b>Outdoor Commercial Patio (on private property) - \$273.00</b> (Includes GST)</li> <li><b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$525.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>The City of Medicine Hat will email a fee slip or mail an invoice to the applicant once the application and other required documentation is deemed complete.</li> <li>Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

Site Plan Example – Outdoor Patio



EXAMPLE SITE PLAN for  
DEVELOPMENT PERMIT APPLICATION  
**TEMPORARY/SEASONAL  
COMMERCIAL PATIO**  
ENTIRELY ON PRIVATE PROPERTY  
**REFER TO APPLICATION FORM  
FOR ALL DRAWING  
REQUIREMENTS**

SITE PLAN:  
TEMPORARY/SEASONAL PATIO  
WITHIN PRIVATE PARKING LOT

RESTAURANT NAME  
BAY 4 - 000 00 STREET LIE  
LOT 00, BLOCK 0, PLAN 0000

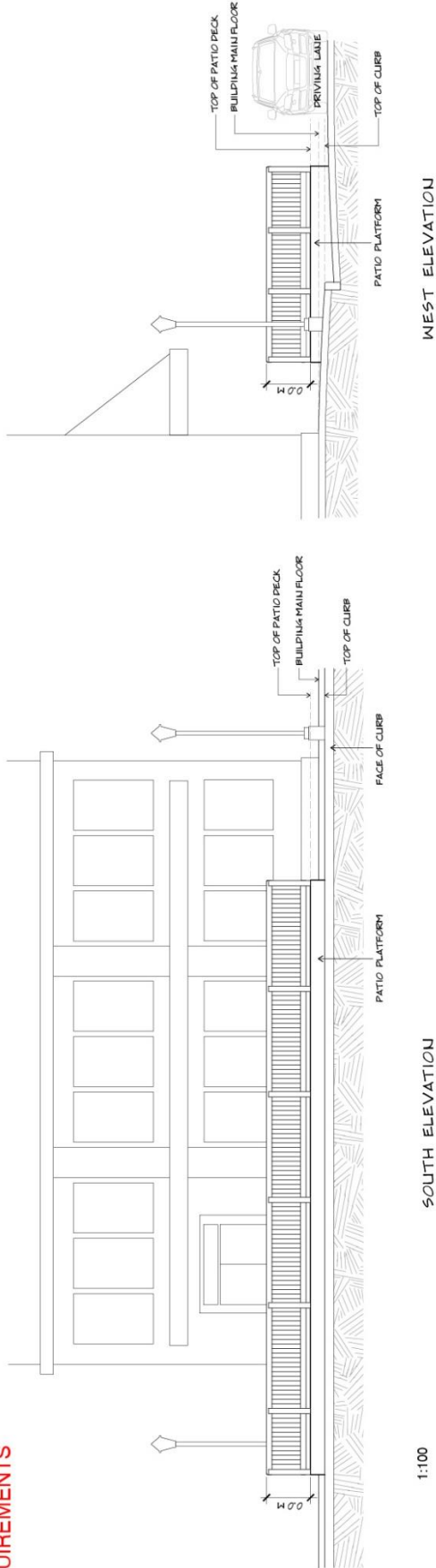
PATIO SPACE AREA: 00.0 M<sup>2</sup>  
00 TABLES  
00 CHAIRS

SEASONAL OCCUPANCY: MAY-SEPT  
HOURS OF OPERATION: 10:00AM-9:00PM  
NO ALCOHOL SERVED

Elevation Plan Example - Outdoor Patio

EXAMPLE ELEVATION PLAN for  
DEVELOPMENT PERMIT APPLICATION  
**TEMPORARY/SEASONAL  
COMMERCIAL PATIO**

REFER TO APPLICATION FORM  
FOR ALL DRAWING  
REQUIREMENTS





## APPLICATION REQUIREMENTS

# Single Detached House, Duplex, Attached Housing (2 units)

(New Subdivision/ Developing Area)

### PROJECT DETAILS – SINGLE DETACHED HOUSE, DUPLEX, ATTACHED HOUSING (2 UNITS) (NEW SUBDIVISION/DEVELOPING AREA)

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> <ul style="list-style-type: none"> <li><b>Must be prepared by a draftsman, architect, or person skillful in technical drawing</b></li> </ul> <i>(A 1:200 metric scale is recommended)</i>	<p>The site plan must include the following:</p> <ul style="list-style-type: none"> <li>North arrow</li> <li>Location – including, municipal address and legal description (Lot, Block, Plan)</li> <li>All property lines</li> <li>Identify the location and foundation outline of the Single Detached House or Duplex and the setbacks from all property lines (front, rear, and side yard setbacks)</li> <li>Outline the location, dimensions, and setbacks of any detached garages, in-ground swimming pools, decks, etc. (ensure any eaves or other projections are identified)</li> <li>Identify any retaining walls (existing and proposed)</li> <li>Identify lot grades (including at lot corners and building grades at all corners, and garage slab)</li> <li>Identify the driveway width and length to property line (if no sidewalk, to back of curb)</li> <li>Identify any additional parking areas including length and width of all stalls, driveways, etc.</li> <li>Identify adjacent city streets, sidewalks, curbs, and proposed and existing curb cuts</li> <li>Identify location of all existing and proposed service lines - electric (including overhead), gas, water, sanitary sewer as well as any easements, utility rights-of-way, or swales located on the property. This should also include, identification of electric and gas meters, any utility poles, transformer boxes, hydrants, light standards, that are located on or adjacent to the site</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The elevation drawings must include:</p> <ul style="list-style-type: none"> <li>The exterior of the proposed building, including windows, doors, decks, any cantilevers or other projections etc.</li> <li>Exterior finishing materials.</li> </ul>



		<ul style="list-style-type: none"> <li>▪ Lot grades, building grades, and grade line plotted on each of the building elevations, extending to the property line (ensure consistency with the Site Plan)</li> <li>▪ Dimensioned height from grade to highest point of roof</li> <li>▪ Elevations of any fence or retaining wall proposed on the site</li> </ul>
<input type="checkbox"/>	<b>3. FLOOR PLANS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The floor plans must include:</p> <ul style="list-style-type: none"> <li>▪ Layout of all exterior and interior walls and identify rooms (e.g., Kitchen, bathroom, internal stairways, etc.)</li> <li>▪ Location of doors and windows</li> <li>▪ Dimensions of buildings (length &amp; width)</li> </ul>
	<b>OFF-SITE LEVIES FEES (IF APPLICABLE)</b> <ul style="list-style-type: none"> <li>▪ <b>Using the Off-Site Levy Bylaw, off-site levies are determined during the Planning &amp; Development Services review of the proposed development.</b></li> </ul>	<ul style="list-style-type: none"> <li>▪ If the City of Medicine Hat determines that off-site levies are owing, they will be required to be paid prior to commencement of construction and this will be a condition of the Development Permit.</li> </ul>
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ <b>Development Permit Fee for Single Detached House - \$315.00</b> (Includes GST)</li> <li>▪ <b>Development Permit Fee for Duplex - \$367.50</b> (Includes GST)</li> <li>▪ <b>Development Permit Fee for Attached Housing - \$210.00/per dwelling</b> (Includes GST)</li> <li>▪ <b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$315.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>▪ Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>



## APPLICATION REQUIREMENTS

# Single Detached House, Duplex, Attached Housing (2 units)

(Infill)

## PROJECT DETAILS – SINGLE DETACHED HOUSE, DUPLEX, ATTACHED HOUSING (2 UNITS) (INFILL)

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

### Pre-Application Meeting

**\*It is recommended that the applicant contact Planning & Development Services to confirm the following:**

- Zoning and defined land use
- Land Use Bylaw Regulations
- Statutory Plan Policy
- Off-site Levies
- Servicing Requirements
- Restrictive Covenants, Utility Rights-of-Way, Easements or City Caveats Registered on Title
- Geotechnical Considerations
- Environmental Considerations
- Subdivision/consolidation of land
- Flood Proofing Requirements - *(if the development is within the flood fringe – Planning & Development Services can provide this information)*
- TCC Reviews – *complex infill projects may require review through the Technical Coordinating Committee (TCC), this review may increase review timelines for applications.*

Contact Planning & Development Services prior to submitting an application to set up a pre-application meeting. This is an opportunity to walk through the application and determine other considerations and requirements for developing the site.

Applications that have had a pre-application meeting are typically processed faster and have fewer issue that arise during the review process.

☐ I have contacted Planning & Development Services to discuss my project prior to making this application.

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> <ul style="list-style-type: none"> <li>▪ Must be prepared by a <b>draftsperson, architect, or person skillful in technical drawing</b></li> </ul> <i>(A 1:200 metric scale is recommended)</i>	The site plan must include the following: <ul style="list-style-type: none"> <li>▪ North arrow</li> <li>▪ Location – including, municipal address and legal description (Lot, Block, Plan)</li> <li>▪ All property lines</li> <li>▪ Identify the location and foundation outline of the Single Detached House or Duplex and the setbacks from all property lines (front, rear, and side yard setbacks)</li> </ul>

		<ul style="list-style-type: none"> <li>Outline the location, dimensions, and setbacks of any accessory buildings on the site (detached garages, in-ground swimming pools, decks, etc.) and ensure any eaves or other projections are identified</li> <li>Identify any retaining walls (existing and proposed)</li> <li>Identify lot grades (see section 5.- Grading, below)</li> <li>Identify the driveway width and length to property line (if no sidewalk, to back of curb)</li> <li>Identify any additional parking areas including length and width of all stalls, driveways, etc.</li> <li>Identify adjacent city streets, sidewalks, curbs, and proposed and existing curb cuts</li> <li>Identify location of all existing and proposed service lines and any UROW's (see section 4. – Servicing Requirements, below)</li> <li>Identify any electric and gas meters, utility poles, transformer boxes, hydrants, and light standards, that are located on or adjacent to the site</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The elevation drawings must include:</p> <ul style="list-style-type: none"> <li>The exterior of the proposed building, including windows, doors, decks, etc.</li> <li>Exterior finishing materials.</li> <li>Lot grades, building grades, and grade line plotted on each of the building elevations, extending to the property line (ensure consistency with the Site Plan)</li> <li>Dimensioned height from grade to highest point of roof</li> <li>Elevations of any fence or retaining wall proposed on the site</li> </ul>
<input type="checkbox"/>	<b>3. FLOOR PLANS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The floor plans must include:</p> <ul style="list-style-type: none"> <li>Layout of all exterior and interior walls and identify rooms (e.g., Kitchen, bathroom, internal stairways, etc.)</li> <li>Location of doors and windows</li> <li>Dimensions of buildings (length &amp; width); include cantilevers and other projections</li> </ul>
<input type="checkbox"/>	<b>4. SERVICING PLAN</b>	<p><b>Water:</b></p> <ul style="list-style-type: none"> <li>Location of existing and proposed line and line size from City main to development and to property line</li> <li>Confirmation that the proposed water line is adequately sized for the development. (This can be confirmed through a fixture count as per the National Plumbing Code of Canada)</li> </ul> <p><b>Sewer:</b></p> <ul style="list-style-type: none"> <li>Existing and proposed line and line size from main to property line</li> <li>Existing and proposed line and line size from property line to development</li> </ul> <p><b>Electric:</b></p> <ul style="list-style-type: none"> <li>Location of existing and proposed line and electrical load</li> </ul> <p><b>Gas:</b></p> <ul style="list-style-type: none"> <li>Location of existing and proposed line and gas load</li> </ul> <p>*Any servicing upgrades are at the cost of the developer</p>

		<p>*Duplexes must have individual separate services if the applicant intends to subdivide or if there are any intentions to subdivide in the future for individual ownership. The City cannot permit joint servicing (one service line that services multiple separately owned parcels)</p> <p>The applicant must contact Electric Distribution (403.529.8270), Gas Distribution (403.529.8190), and Environmental Utilities (403.529.8176) to apply for servicing quotes.</p>
<input type="checkbox"/>	<b>5. GRADING PLAN</b>	<p>The grade plan must include:</p> <ul style="list-style-type: none"> <li>Proposed geodetic grades along all property lines</li> <li>Proposed geodetic grades along building</li> <li>Existing geodetic grades along shared property lines (corners and minimum two points on each side property line)</li> <li>Existing and proposed drainage pattern (e.g., front to back, back to front, split drainage) – include slope arrows</li> <li>Geodetic grades of any existing or proposed curb/retaining wall</li> <li>Geodetic grades of any proposed swales</li> </ul>
	<b>OFF-SITE LEVIES FEES (IF APPLICABLE)</b> <ul style="list-style-type: none"> <li>Using the Off-Site Levy Bylaw, off-site levies are determined during the Planning &amp; Development Services review of the proposed development.</li> </ul>	<ul style="list-style-type: none"> <li>If the City of Medicine Hat determines that off-site levies are owing, they will be required to be paid prior to commencement of construction and this will be a condition of the Development Permit.</li> </ul>
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li><b>Development Permit Fee for Single Detached House - \$315.00</b> (Includes GST)</li> <li><b>Development Permit Fee for Duplex - \$367.50</b> (Includes GST)</li> <li><b>Development Permit Fee for Attached Housing - \$210.00/per dwelling</b> (Includes GST)</li> <li><b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$315.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## APPLICATION REQUIREMENTS

# Detached Garage

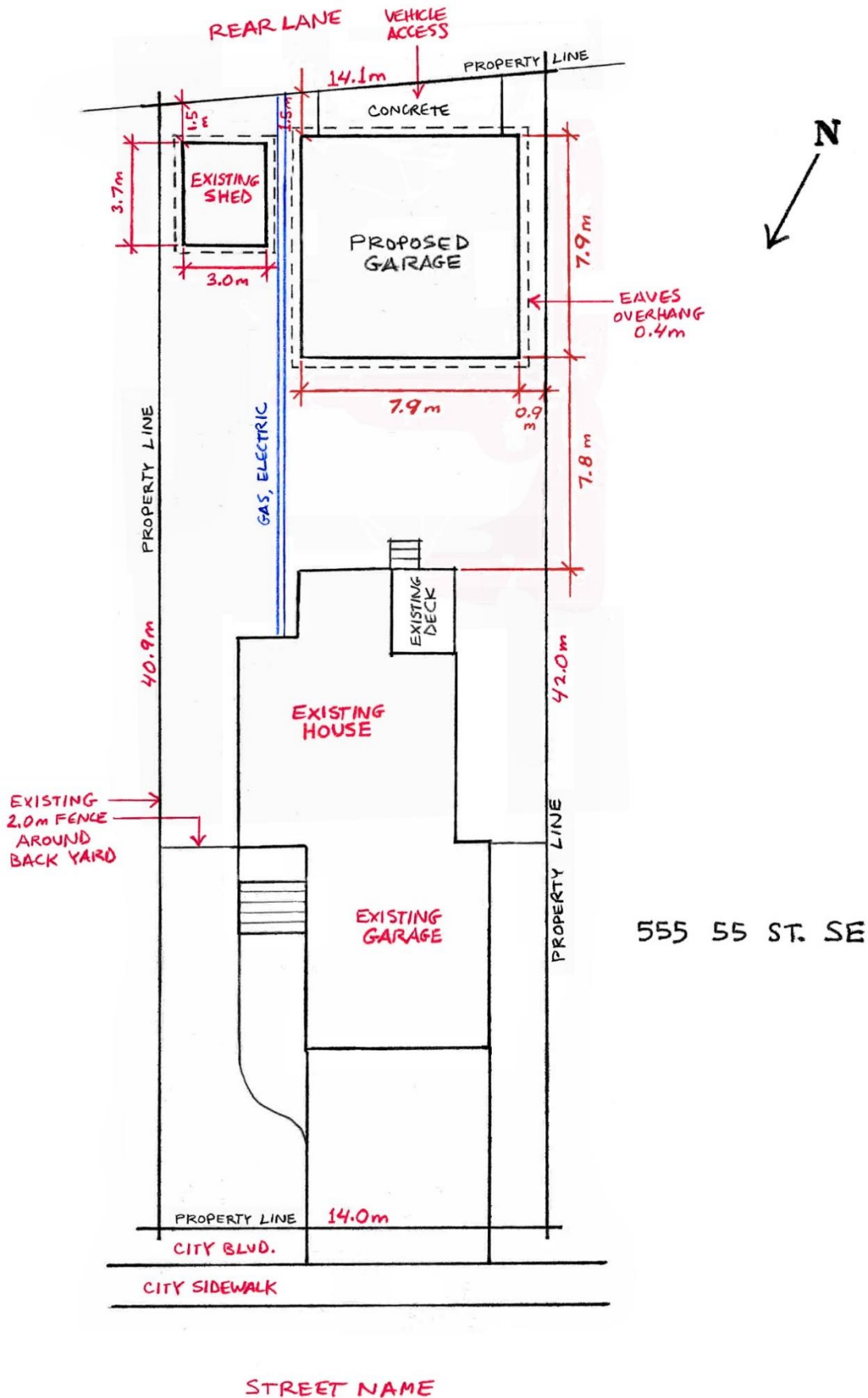


**Medicine Hat**

Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

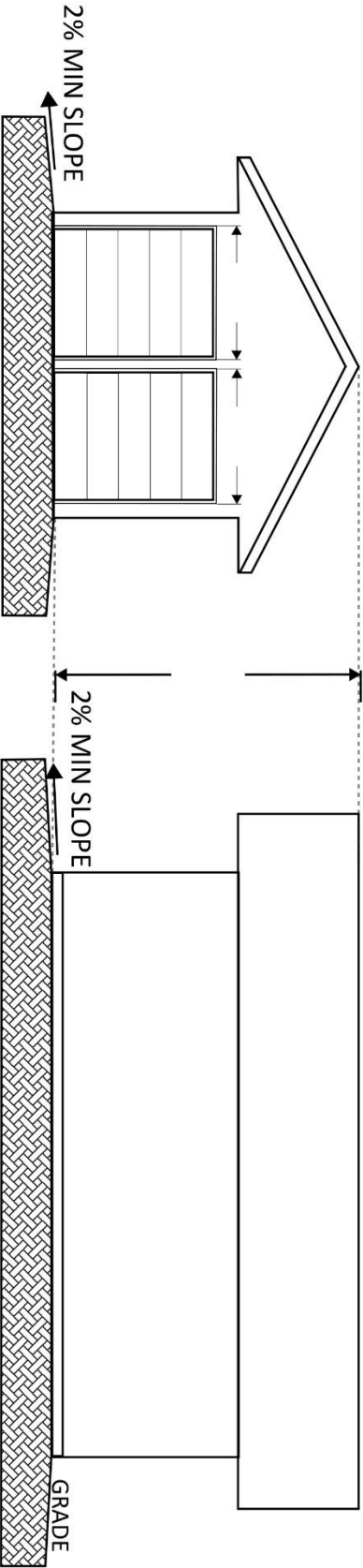
PROJECT DETAILS – DETACHED GARAGE		
All applications must comply with the City of Medicine Hat's <b>Land Use Bylaw No.4168</b>		
	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> (Please see example on page 5) <i>(A 1:200 metric scale is recommended)</i>	The site plan must include the following: <ul style="list-style-type: none"> <li>▪ All property lines shown and labelled</li> <li>▪ Locations and dimensions of all existing and proposed structures on the site (label which are proposed, and which are existing) identify distances to property lines (front, rear, and side yard setbacks)</li> <li>▪ Label the driveway showing vehicle access into the garage and identify the driveway width (if applicable)</li> <li>▪ Identify location of all utilities (electric (including overhead), gas, water, sanitary sewer) as well as any swales on property</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> (Please see example on page 6) <i>(A 1:200 metric scale is recommended)</i>	The elevation drawings must include: <ul style="list-style-type: none"> <li>▪ Drawings of all sides of the structure</li> <li>▪ Dimensioned height from grade to the peak of the roof.</li> <li>▪ Clearly show roof eaves and overhang dimensions</li> <li>▪ Position and dimensions of windows and doors</li> </ul>
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ <b>Development Permit Fee - \$115.50</b> (Includes GST)</li> <li>▪ <b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$315.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant once the application and other required documentation is deemed complete.</li> <li>▪ Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

Site Plan Example - Residential Detached Garage

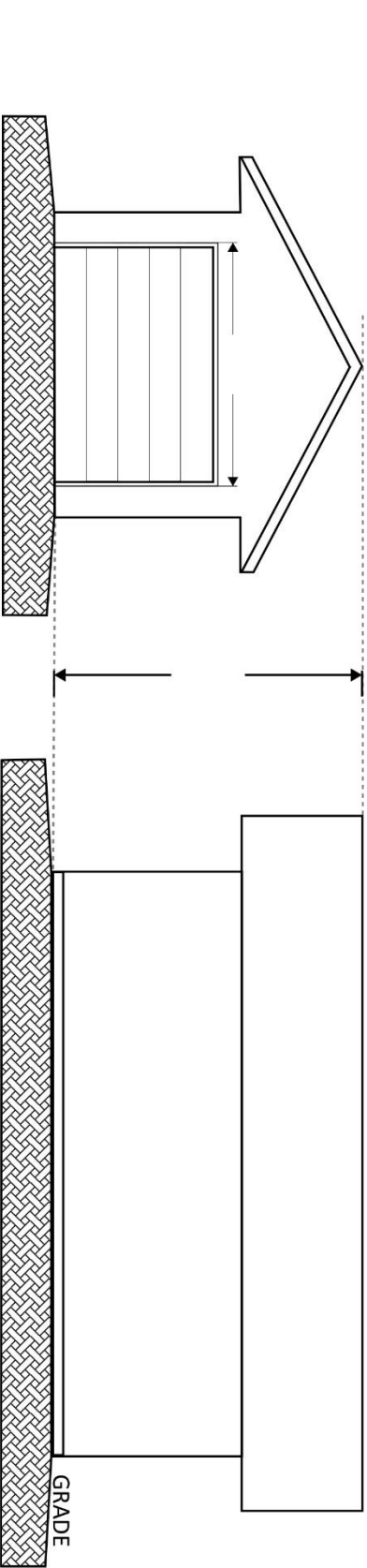


Elevation Plan Example - Residential Detached Garage

DETACHED GARAGE ELEVATION PLAN



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

Indicate location and size of doors and windows.  
Include measurements in meters.



## APPLICATION REQUIREMENTS

# Fence or Retaining Wall



Medicine Hat

Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

### PROJECT DETAILS – RESIDENTIAL AND NON-RESIDENTIAL FENCE AND RETAINING WALL

#### TYPE OF PROJECT:

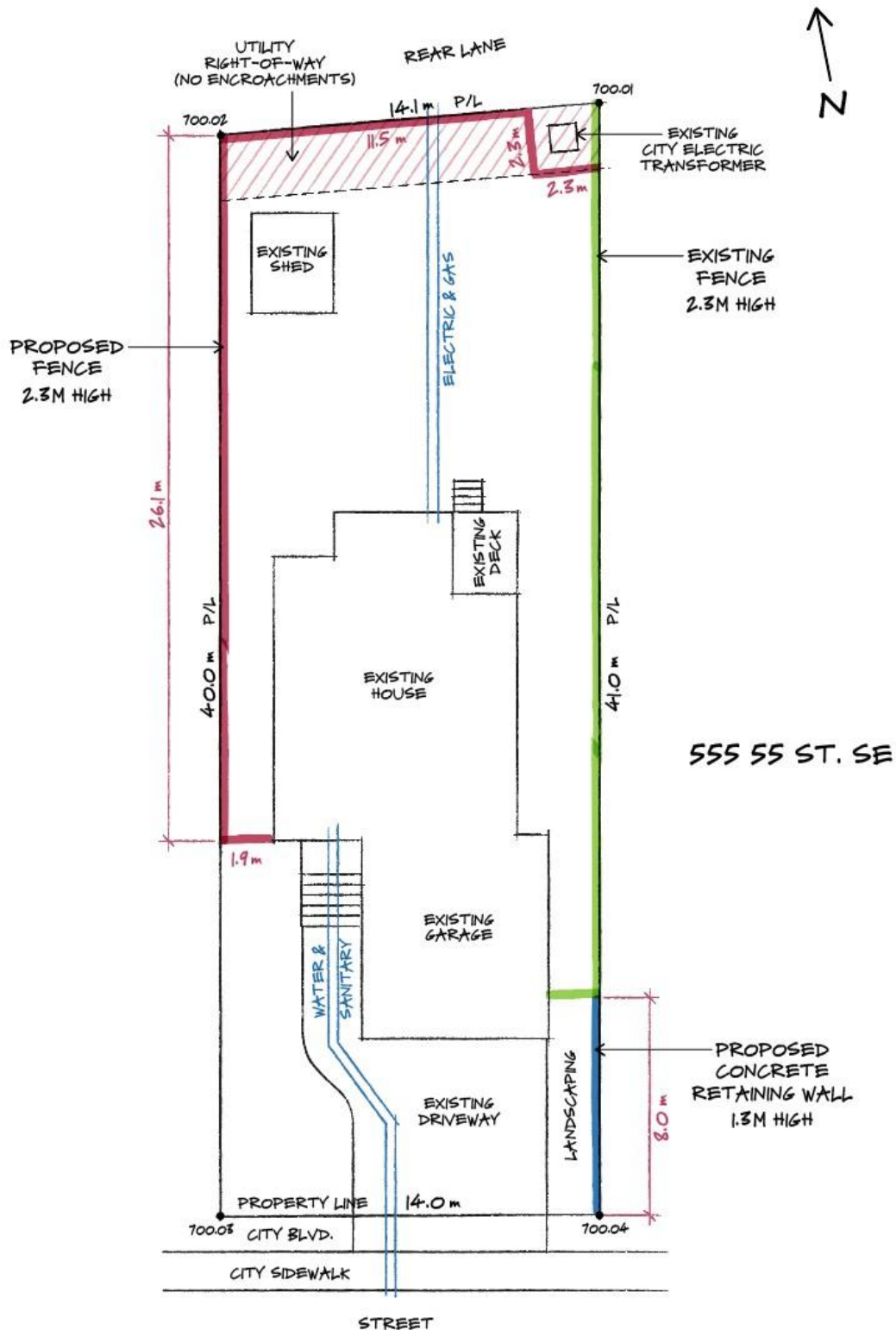
☐ Fence

☐ Retaining Wall

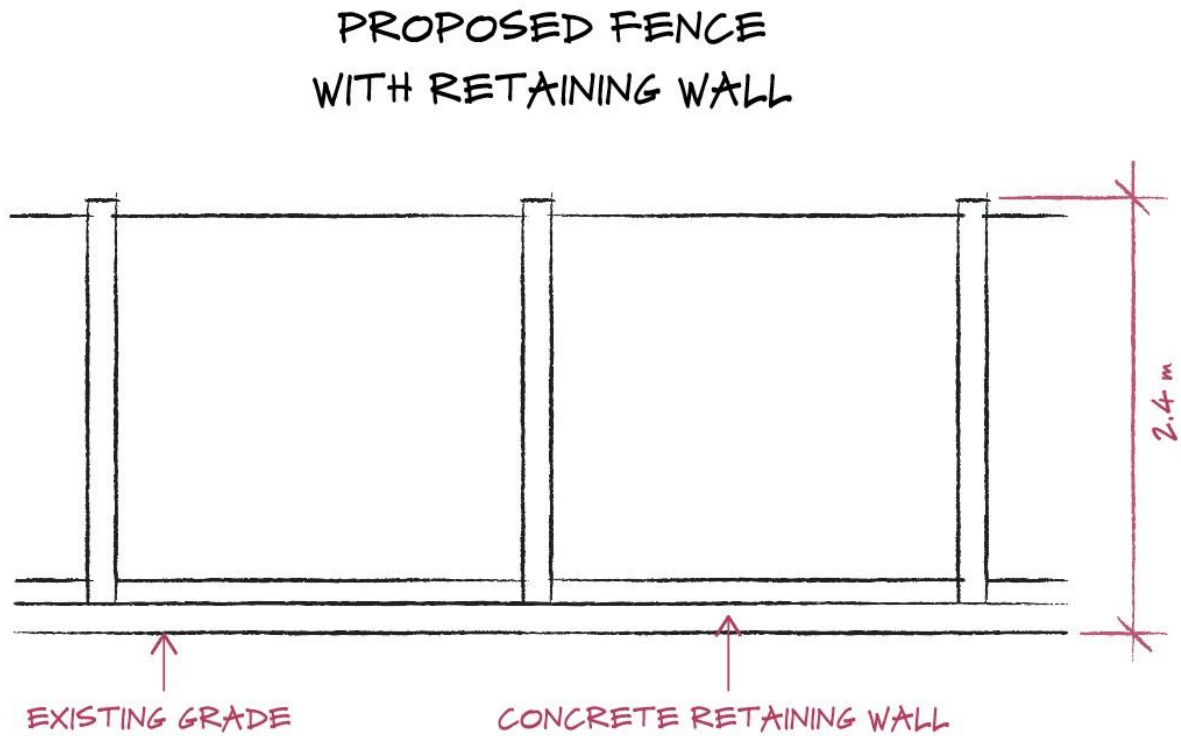
All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> (See example pg. 4) <i>(A 1:200 metric scale is recommended)</i>	The site plan must include the following: <ul style="list-style-type: none"> <li>North arrow</li> <li>Location – including municipal address and legal description (Lot, Block, Plan)</li> <li>All property lines</li> <li>Outline of the house and other buildings on the site</li> <li>Identify adjacent city streets, sidewalks, curbs and proposed and existing curb cuts</li> <li>Location of existing and proposed fence and retaining wall</li> <li>Identify lot grades at lot corners (if applicable)</li> <li>Identify any easements, UROWs, fire hydrants, light standards, or other City infrastructure</li> <li>For retaining wall:               <ul style="list-style-type: none"> <li>If below-grade footing or pile projects past the face of retaining wall, identify the projection</li> </ul> </li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> (See example pg. 5) <i>(A 1:200 metric scale is recommended)</i>	The elevation drawings must include: <ul style="list-style-type: none"> <li>Label height (ground to the top) and finishing material</li> <li>Geodetic grades of any existing or proposed retaining wall/curb and fence</li> </ul>
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li><b>Development Permit (Variance Fee) - \$315.00</b> (Includes GST)</li> </ul>	<ul style="list-style-type: none"> <li>The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## Site Plan Example – Fence and Retaining Wall



## Elevation Plan Example – Fence and Retaining Wall



555 55 ST. SE

## APPLICATION REQUIREMENTS

# Additions or Accessory Buildings



Medicine Hat

Planning & Development Services  
 City of Medicine Hat  
 580 1<sup>st</sup> Street SE  
 Medicine Hat, AB T1A 8E6  
 Phone (403) 529-8374  
 pbe@medicinehat.ca

## PROJECT DETAILS – RESIDENTIAL ADDITION OR ACCESSORY BUILDING

### TYPE OF PROJECT:

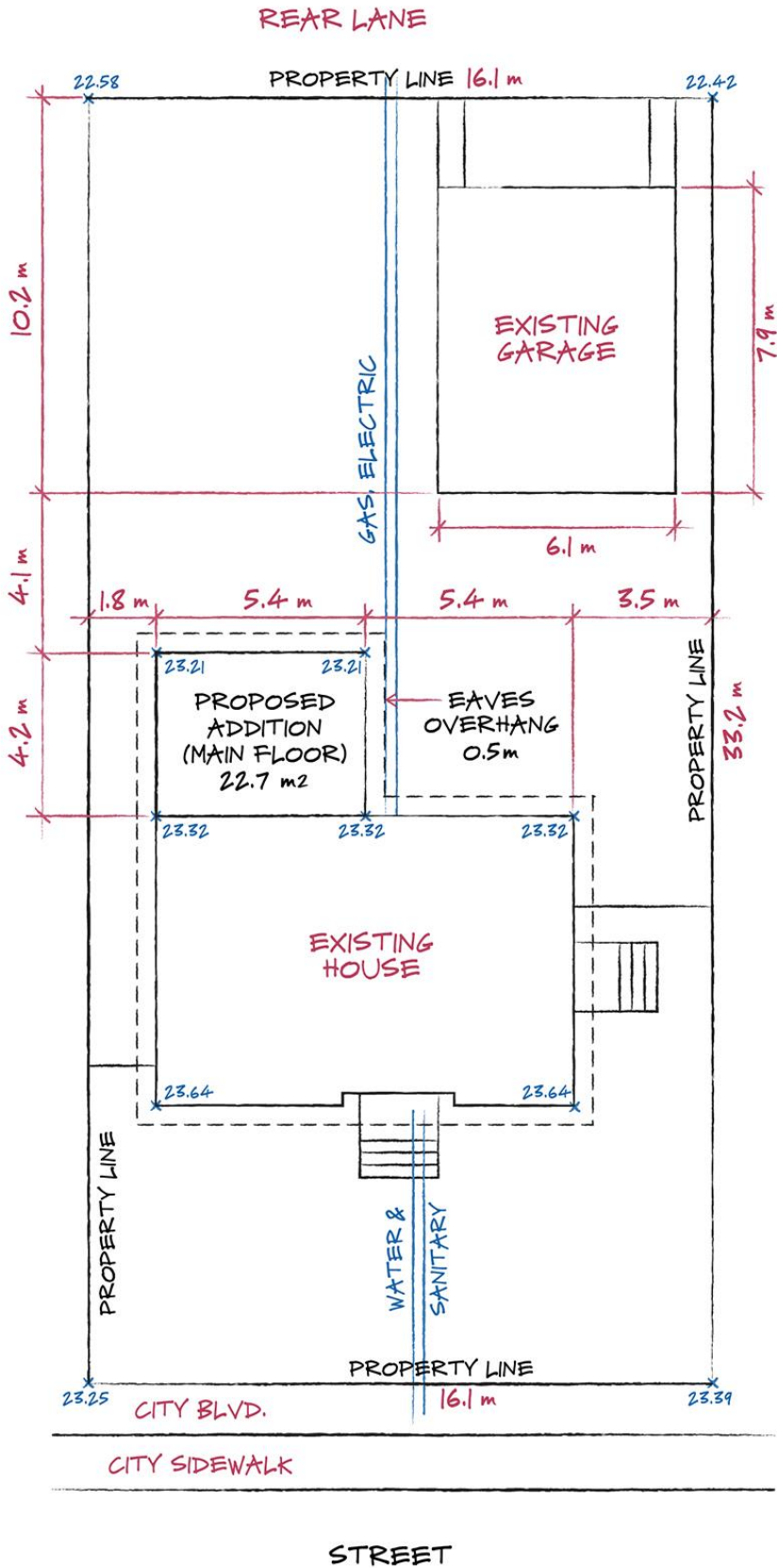
- ☐ Building addition (to exterior wall)     ☐ Enclosure of deck, patio or verandah     ☐ Enclosure of carport or breezeway  
☐ Attached garage     ☐ Attached carport     ☐ Shed or gazebo (over 10m<sup>2</sup> in area)  
☐ Sea can (for permanent use)     ☐ Addition of a story to existing bldg.  
☐ Other \_\_\_\_\_

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> (See example pg. 6) <i>(A 1:200 metric scale is recommended)</i>	The site plan must include the following: <ul style="list-style-type: none"> <li>North arrow</li> <li>Location – including municipal address and legal description (Lot, Block, Plan)</li> <li>All property lines</li> <li>All existing and proposed structures, with dimensions, including setbacks from all property lines (front, rear, and side yard setbacks), outlines of eaves and other projections.</li> <li>Identify adjacent city streets, sidewalks, curbs and proposed and existing curb cuts</li> <li>Identify lot grades at lot corners and proposed building grades at all corners (if applicable)</li> <li>Identify proposed parking areas including length and width of stalls, driveway, etc. (if applicable)</li> <li>Identify location of all existing and proposed service lines – electric (including overhead), gas, water, sanitary sewer as well as easements, utility rights-of-way, and swales on property. Identify electric and gas meters, utility poles, transformer boxes, hydrants, light standards on or adjacent to site.</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> (See example pg. 7) <i>(A 1:200 metric scale is recommended)</i>	The elevation drawings must include: <ul style="list-style-type: none"> <li>Drawings of all sides of the proposed structure, including windows, doors, decks, any cantilevers or other projections, etc.</li> <li>Identify exterior finishing materials</li> </ul>

		<ul style="list-style-type: none"> <li>▪ Dimensioned height from grade to highest point of roof of proposed structure</li> <li>▪ Elevations of any fence or retaining wall proposed on the site</li> </ul>
<input type="checkbox"/>	<b>3. FLOOR PLANS (if applicable)</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The floor plans must include:</p> <ul style="list-style-type: none"> <li>▪ Layout of all exterior and interior walls and identify rooms and spaces (e.g., kitchen, bathroom, internal stairways, proposed addition, etc.)</li> <li>▪ Location of doors and windows</li> <li>▪ Dimensions of buildings (length &amp; width)</li> </ul>
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ <b>Development Permit Fee - \$115.50</b> (Includes GST)</li> <li>▪ <b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$315.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>▪ Fee payment may be made by Visa, Mastercard, debit, cash, or cheque.</li> </ul>

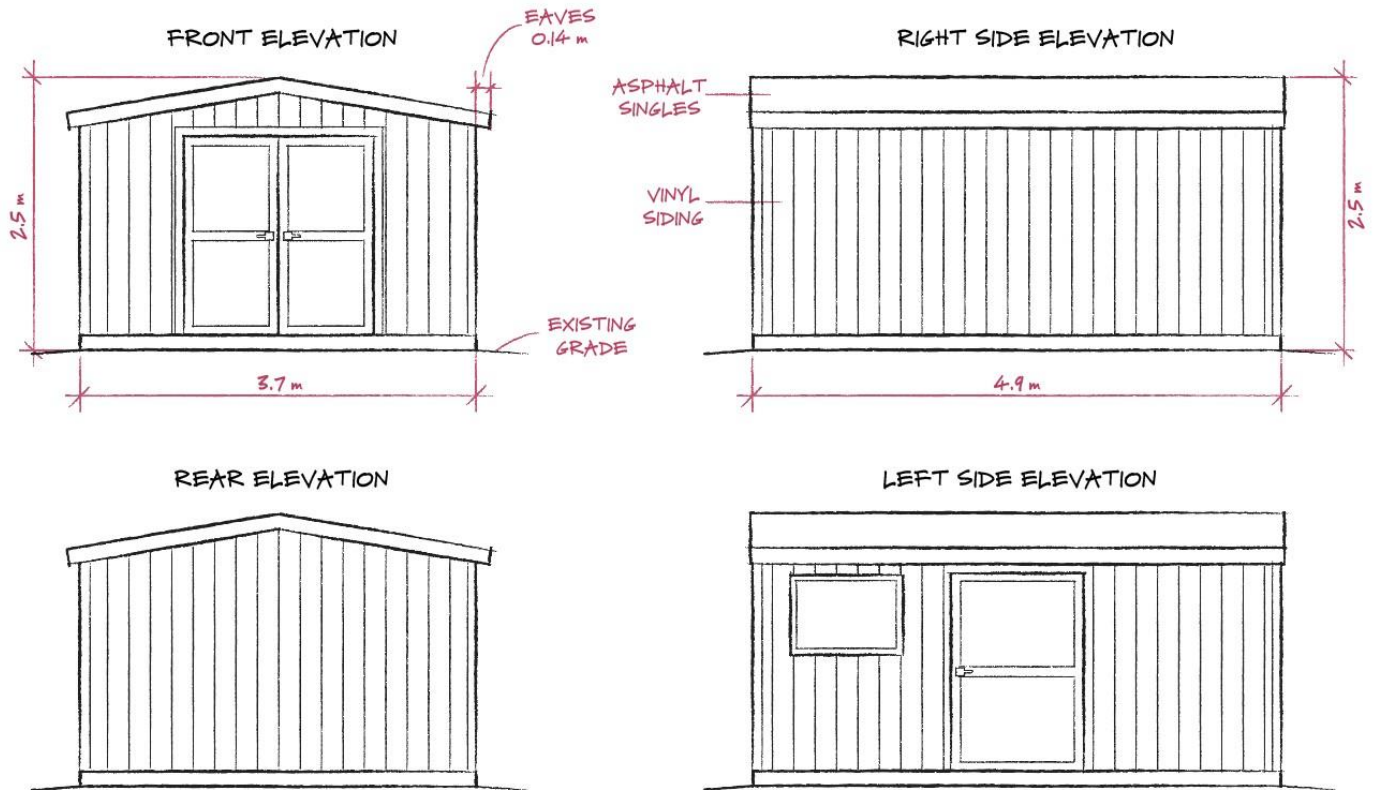
Site Plan Example - Residential Building Addition



## Elevation Plan Example - Residential Building Elevations

333 3 AVE. NW  
BLOCK 3 LOT 33 PLAN A333

PROPOSED OVERSIZED SHED  
ELEVATION DRAWINGS  
GROSS FLOOR AREA: 18.1 M<sup>2</sup>





## APPLICATION REQUIREMENTS

# Secondary Suite or Backyard Suite



**Medicine Hat**

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City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

### PROJECT DETAILS – SECONDARY SUITE or BACKYARD SUITE

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> <ul style="list-style-type: none"> <li><b>Must be prepared by a draftsman, architect, or person skillful in technical drawing</b></li> </ul> <i>(A 1:200 metric scale is recommended)</i>	<p>The site plan must include the following:</p> <ul style="list-style-type: none"> <li>North arrow</li> <li>Location – including, municipal address and legal description (Lot, Block, Plan)</li> <li>All property lines</li> <li>Identify the location and foundation outline of the principal dwelling and the setbacks from all property lines (front, rear, and side yard setbacks)</li> <li>Outline the location, dimensions, and setbacks of any detached garages/backyard suites, in-ground swimming pools, decks, etc. (ensure any eaves or other projections are identified and distance from rear of principal dwelling to the backyard suite)</li> <li>Identify lot grades (including at lot corners and building grades at all corners, and garage slab)</li> <li>Identify the driveway width and length to property line if applicable (if no sidewalk, to back of curb)</li> <li>Identify any additional parking areas including length and width of all stalls, driveways, etc. Label the stalls to be used for the secondary suite or backyard suite (indicate size and material of parking stall(s))</li> <li>Identify the location and dimensions of the outdoor amenity space for the suite</li> <li>Identify suite entrance</li> <li>Identify location of all existing and proposed service lines - electric (including overhead), gas, water, sanitary sewer as well as any easements, utility rights-of-way, or swales located on the property. This should also include, identification of electric and gas meters, any utility poles, transformer boxes, hydrants, light standards, that are located on or adjacent to the site</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> <i>(A 1:200 metric scale is recommended)</i>	<p><i>*Elevation drawings are not required for secondary suites if there is no change to the exterior of the building. Pictures of the building are satisfactory.</i></p>

		<p>The elevation drawings must include:</p> <ul style="list-style-type: none"> <li>▪ The exterior of the proposed building, including windows, doors, decks, stairs, any cantilevers, or other projections etc.</li> <li>▪ Exterior finishing materials.</li> <li>▪ Lot grades, building grades, and grade line plotted on each of the building elevations, extending to the property line (ensure consistency with the Site Plan)</li> <li>▪ Dimensioned height from grade to highest point of roof for all buildings on site</li> <li>▪ Elevations of any fence or retaining wall proposed on the site</li> </ul>
<input type="checkbox"/>	<b>3. FLOOR PLANS</b> <i>(A 1:200 metric scale is recommended)</i>	<p>The floor plans must include:</p> <ul style="list-style-type: none"> <li>▪ Layout of all exterior and interior walls and identify rooms (e.g., Kitchen, bathroom, internal stairways, etc.) (Must identify number of bedrooms)</li> <li>▪ Identify the secondary suite or backyard suite area (square meters)</li> <li>▪ Locations of separate ventilation and heating for the main dwelling unit and secondary suite.</li> <li>▪ Location of doors and windows</li> <li>▪ Dimensions of buildings (length &amp; width)</li> </ul>
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ <b>Development Permit Fee for Secondary Suite - \$309.75</b> (Includes GST)</li> <li>▪ <b>Development Permit Fee for Backyard Suite - \$309.75</b> (Includes GST)</li> <li>▪ <b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$315.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>▪ Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## APPLICATION REQUIREMENTS

# Driveway

## (Land Use Bylaw – Variance)



**Medicine Hat**

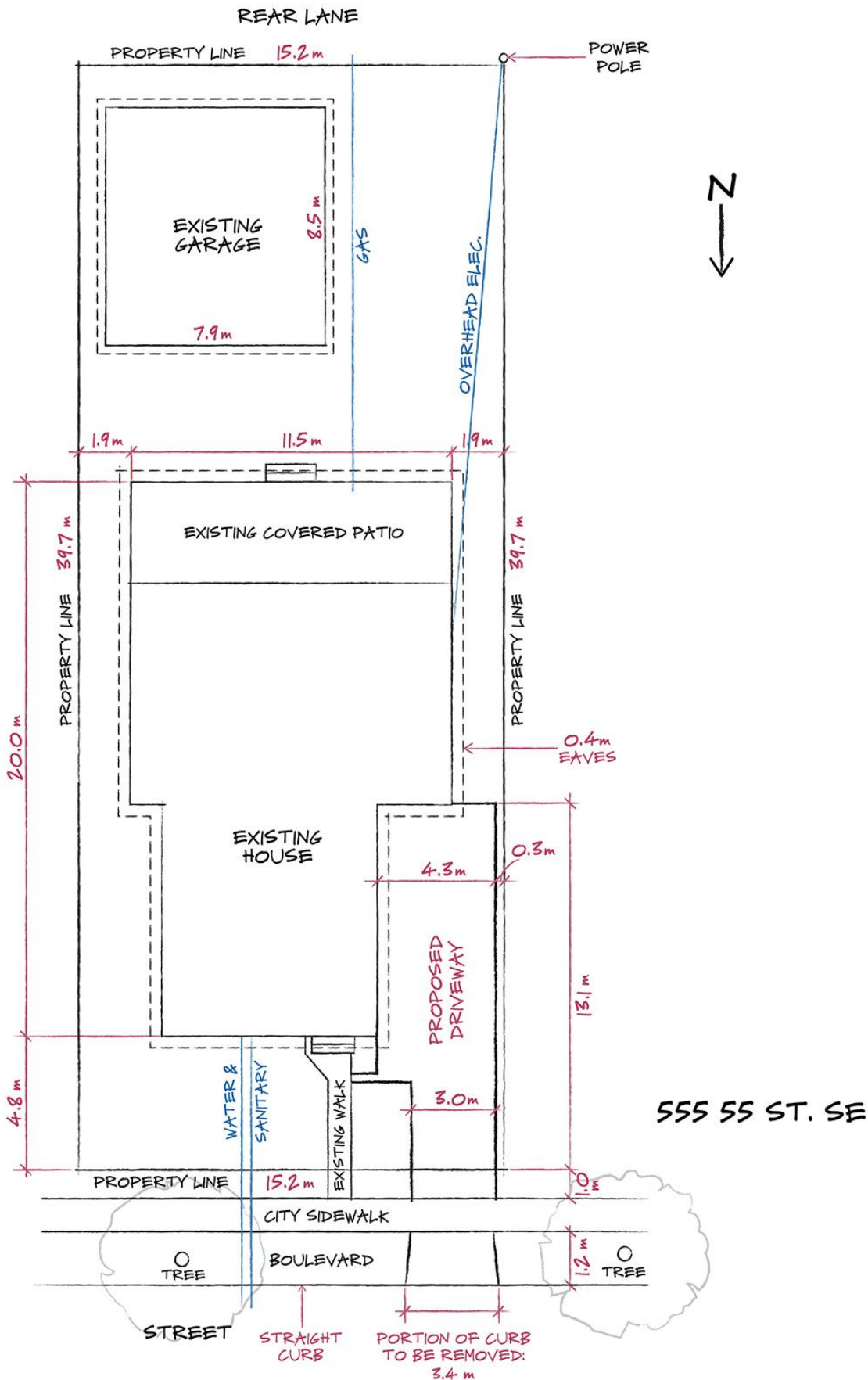
Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

### PROJECT DETAILS – DRIVEWAY (LUB VARIANCE)

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> (Please see example on page 4) <i>(A 1:200 metric scale is recommended)</i>	The site plan must include the following: <ul style="list-style-type: none"> <li>▪ All property lines shown and labelled</li> <li>▪ Locations of all existing structures and/or driveways on the site</li> <li>▪ Identify dimensions of any existing driveways and clearly identify the location and dimensions of the proposed driveway</li> <li>▪ Identify if the curb is straight faced or rolled. If the curb is straight, indicate the length of curb cut required</li> <li>▪ Identify any municipal infrastructure that may be impacted as a result of the driveway development (e.g. boulevard trees, power poles, etc.)</li> <li>▪ Identify location of all utilities (electric (including overhead), gas, water, sanitary sewer) as well as any swales located on the property</li> </ul>
<input type="checkbox"/>	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ <b>Development Permit (Variance Fee) - \$315.00</b> (Includes GST)</li> <li>▪ <b>Authorization to Work in Development Permit Area (If modifications to infrastructure are required) - \$231.00</b> (*Plus 5% GST)</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the appropriate fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>▪ Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## Site Plan Example - Driveway



## APPLICATION REQUIREMENTS

# Impact to Municipal Infrastructure



**Medicine Hat**

Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

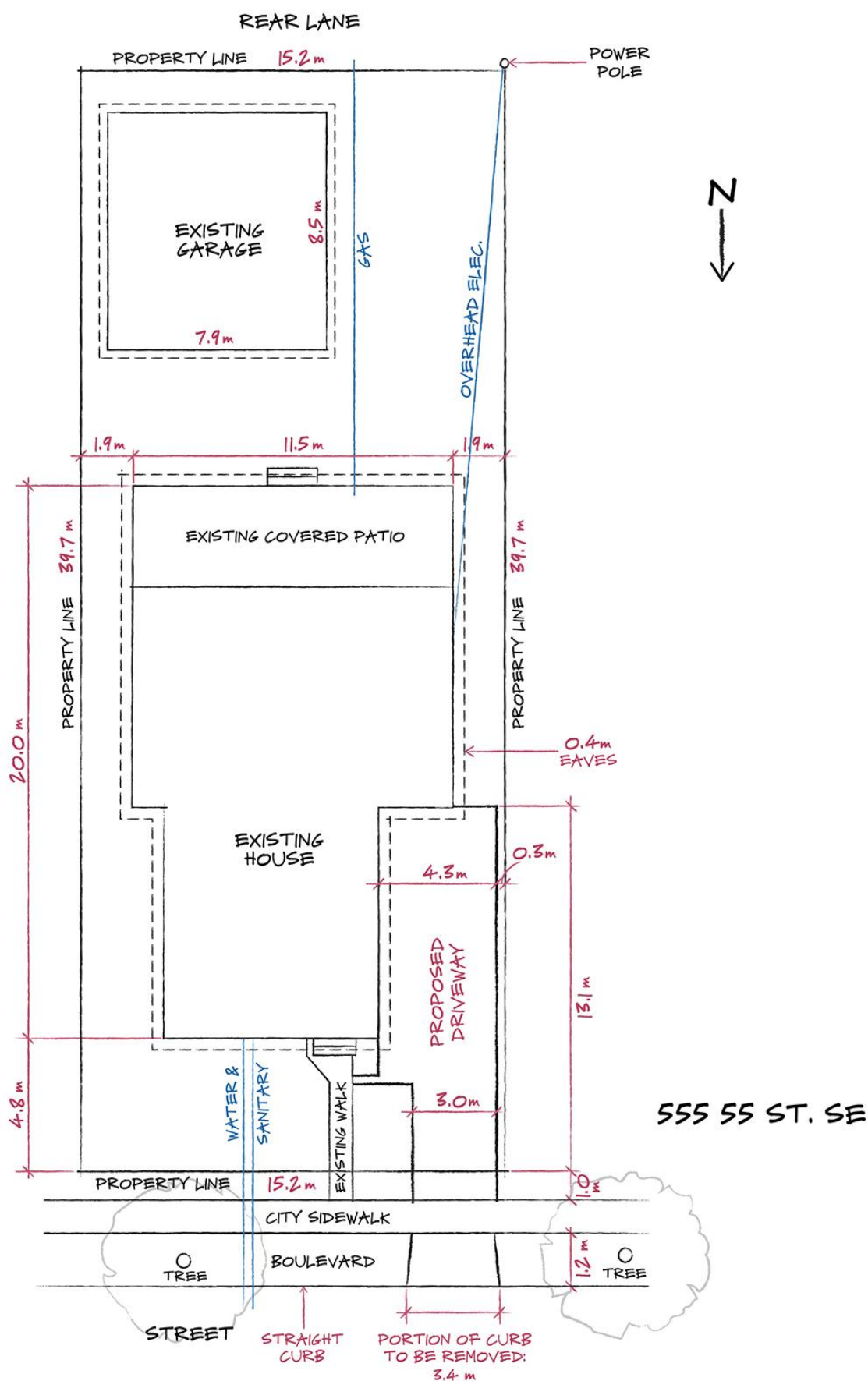
### PROJECT DETAILS – DRIVEWAY PERMIT (IMPACT TO MUNICIPAL INFRASTRUCTURE)

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> (Please see example on page 4) <i>(A 1:200 metric scale is recommended)</i>	The site plan must include the following: <ul style="list-style-type: none"> <li>▪ All property lines shown and labelled</li> <li>▪ Locations of all existing structures and/or driveways on the site</li> <li>▪ Identify dimensions of any existing driveways and clearly identify the location and dimensions of the proposed driveway</li> <li>▪ Identify if the curb is straight faced or rolled. If the curb is straight, indicate the length of curb cut required</li> <li>▪ Identify any municipal infrastructure that may be impacted as a result of the driveway development (e.g. boulevard trees, power poles, etc.)</li> <li>▪ Identify location of all utilities (electric (including overhead), gas, water, sanitary sewer) as well as any swales located on the property</li> </ul>
<input type="checkbox"/>	<b>2. AUTHORIZATION OF WORK WITHIN DEVELOPMENT AREA AGREEMENT</b> (Drafted by Planning & Development Services)	The following items are required to proceed with fully executing the Agreement: <ul style="list-style-type: none"> <li>▪ The developer must return all (2) original Agreements, signed, and witnessed to Planning and Development Services.</li> <li>▪ Contractor Insurance is required that has a single limit liability for bodily injury, personal injury, and property damage not less than \$1,000,000, and general aggregate liability not less than \$2,000,000, and the City shall be named as an additional insured as per the Agreement. Documentation of this must be provided to Planning and Development Services.</li> <li>▪ A security deposit will be required, which will be returned once a final inspection is completed confirming the work is in</li> </ul>

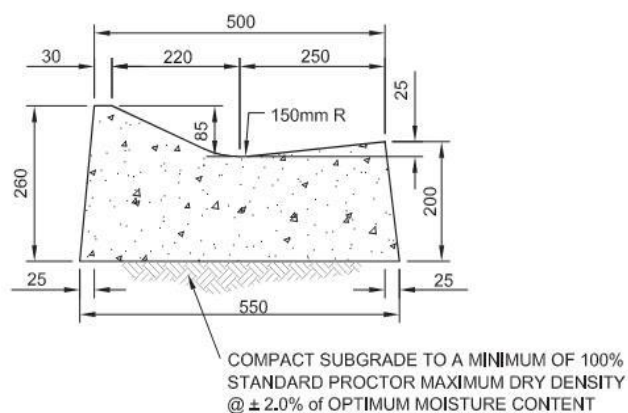
		accordance with city standards. You will be notified of the required amount as the security is determined by the extent of work being done.
<input type="checkbox"/>	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ <b>Authorization to Work in Development Area Agreement - \$231.00</b> (*Plus 5% GST)</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>▪ Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## Site Plan Example - Driveway

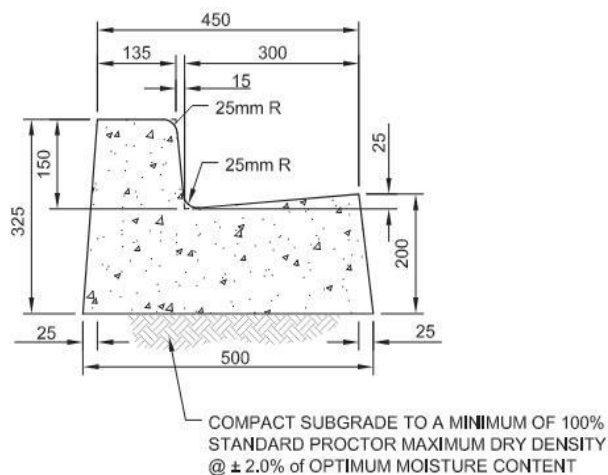




# City of Medicine Hat Municipal Works Construction Specifications Curb & Gutter Sections (MW 301 Specifications)



**ROLLED CURB & 250mm GUTTER**



**150mm STANDARD CURB & 300mm GUTTER**

## NOTES:

1. CEMENT TO BE TYPE 50, 25 MPa, 5%-8% AIR CONTENT
2. ALL DIMENSIONS ARE IN MILLIMETRES.

					DATE: 01/09/06		CURB & GUTTER SECTIONS
					SCALE: NTS		
					DRAWN: C.B.		
					APPROVED:		
0	09	03	18	FOR APPROVAL	PNB		DWG. No. MW 301 Rev. 0
No.	YY	MM	DD	REVISION DESCRIPTION	BY		



## APPLICATION REQUIREMENTS

# Swimming Pool (Permanent)



**Medicine Hat**

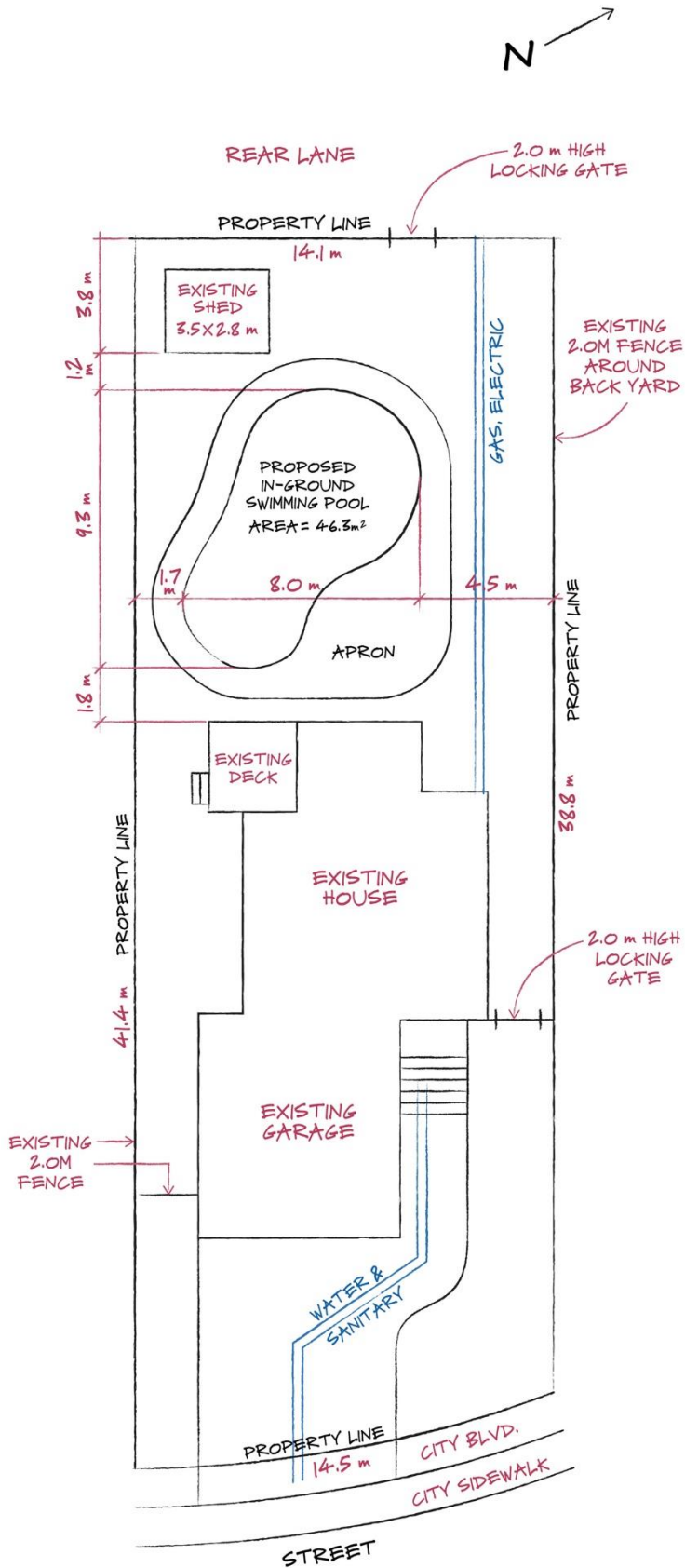
Planning & Development Services  
City of Medicine Hat  
580 1<sup>st</sup> Street SE  
Medicine Hat, AB T1A 8E6  
Phone (403) 529-8374  
[pbe@medicinehat.ca](mailto:pbe@medicinehat.ca)

### PROJECT DETAILS – SWIMMING POOL

All applications must comply with the City of Medicine Hat's **Land Use Bylaw No.4168**

	Required Item	Format Requirements
<input type="checkbox"/>	<b>1. SITE PLAN</b> (Please see example on page 5) <i>(A 1:200 metric scale is recommended)</i>	The site plan must include the following: <ul style="list-style-type: none"> <li>▪ All property lines shown and labelled</li> <li>▪ Identify if the proposed site is in close proximity to the top or bottom of a coulee, escarpment, or any other geophysical risk lands</li> <li>▪ Identify the location and dimensions of the pool and the distances from the swimming pool to all property lines (front, rear, and side yard setbacks)</li> <li>▪ Identify the method of wastewater disposal</li> <li>▪ Identify location of all utilities (electric (including overhead), gas, water, sanitary sewer) as well as any swales located on the property</li> </ul>
<input type="checkbox"/>	<b>2. ELEVATION DRAWINGS</b> (Please see example on page 6) <i>(A 1:200 metric scale is recommended)</i>	The elevation drawing must include: <ul style="list-style-type: none"> <li>▪ The depth of the pool</li> </ul>
	<b>APPLICATION FEE (2024)</b> <ul style="list-style-type: none"> <li>▪ <b>Development Permit Fee - \$115.50</b> (Includes GST)</li> <li>▪ <b>Please note: if a variance is required as part of your Development Permit conditions, you will be charged an additional fee; each variance is \$315.00</b> (Includes GST).</li> </ul>	<ul style="list-style-type: none"> <li>▪ The City of Medicine Hat will email a fee slip or mail an invoice to the applicant for the Development Permit fee once the application has been received. If a variance is required as part of the Development Permit conditions, this is to be paid prior to issuance of the Development Permit.</li> <li>▪ Fee payment may be made by Visa, Mastercard, Debit, Cash, or Cheque.</li> </ul>

## Site Plan Example – In-Ground Swimming Pool



555 55 ST. SE

## Elevation Plan Example - In-Ground Swimming Pool

